



FARMERS BRANCH
TEXAS

25-ZA-07: 2665-2775 Villa Creek

Planning & Zoning Commission Meeting | July 7, 2025



Background



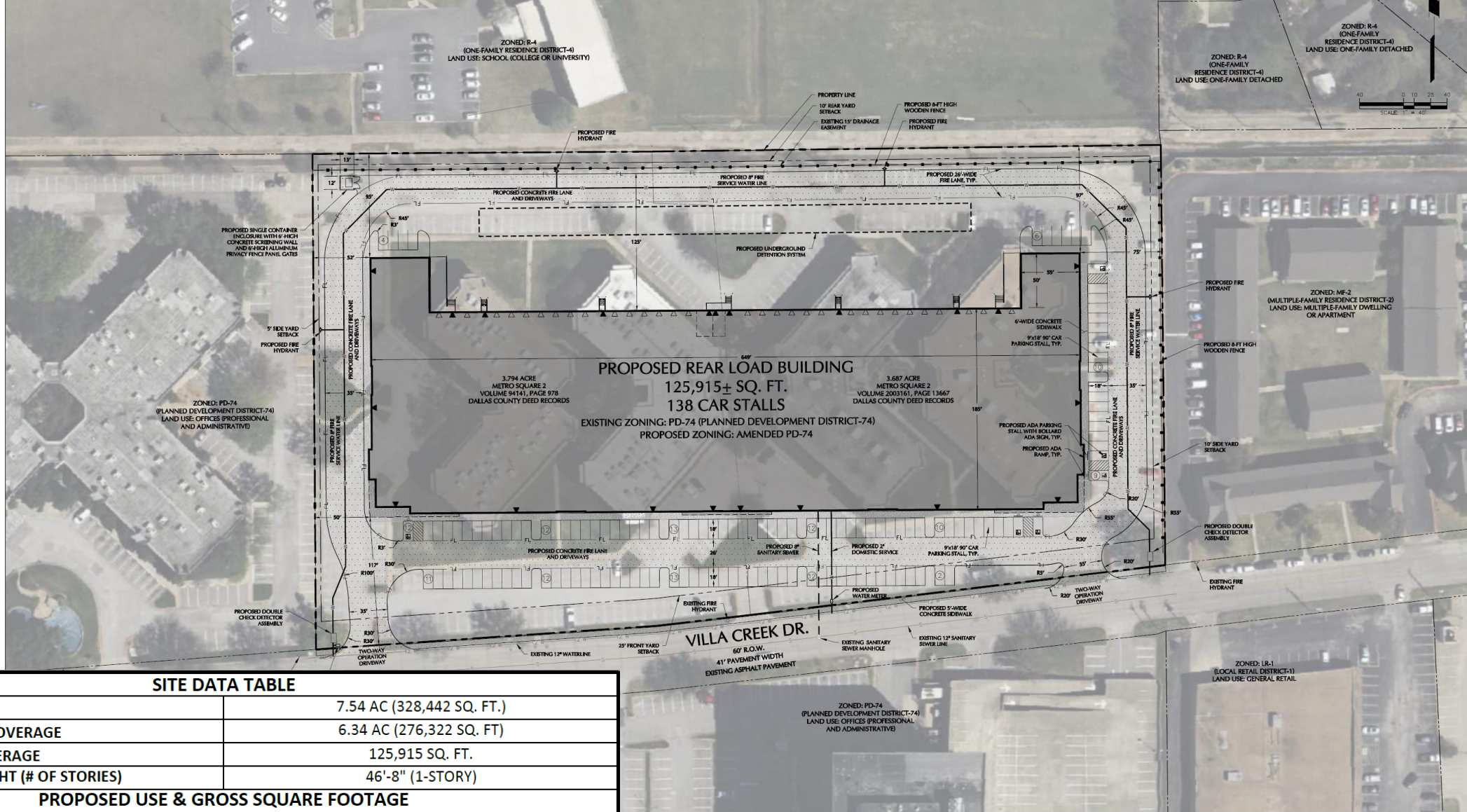
7.48 acres north of Villa Creek Drive between Metro Blvd. & Josey Lane



Zoning: Planned Development No. 74 (PD-74)



Zoning Amendment with conceptual site plan and use standards for warehouse development



SITE DATA TABLE

TOTAL SITE ACREAGE	7.54 AC (328,442 SQ. FT.)
TOTAL IMPERVIOUS COVERAGE	6.34 AC (276,322 SQ. FT.)
TOTAL BUILDING COVERAGE	125,915 SQ. FT.
TOTAL BUILDING HEIGHT (# OF STORIES)	46'-8" (1-STORY)

PROPOSED USE & GROSS SQUARE FOOTAGE

OFFICE	5,981 SQ. FT.
WAREHOUSE	119,934 SQ. FT.

PARKING TABLE

REQUIRED OFFICE PARKING	5,981 SQ. FT. (1 SPACE/333 SQ. FT.) = 18 SPACES
REQUIRED WAREHOUSE PARKING	119,934 SQ. FT. (1 SPACE/1,000 SQ. FT.) = 120 SPACES
TOTAL CAR PARKING (REQUIRED)	138 SPACES
TOTAL CAR PARKING (PROPOSED)	138 SPACES

INTERIM REVIEW ONLY

DOCUMENT IS NOT FINAL
NOT INTENDED FOR
CONSTRUCTION OF PERMIT
ENGINEER: Scott L. Langan
E.C. No. 142436
Date: 6/20/2025
Langan Engineering and
Environmental Services, LLC
T&E Firm Registration No. F-13709

LANGAN

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Project

VILLA CREEK REDEVELOPMENT

2665-2775 VILLA CREEK DRIVE

CITY OF FARMERS BRANCH
DALLAS COUNTY TEXAS

Drawing Title

CONCEPTUAL SITE PLAN

Project No.

520113701

Date

06/20/2025

Drawn By

NN

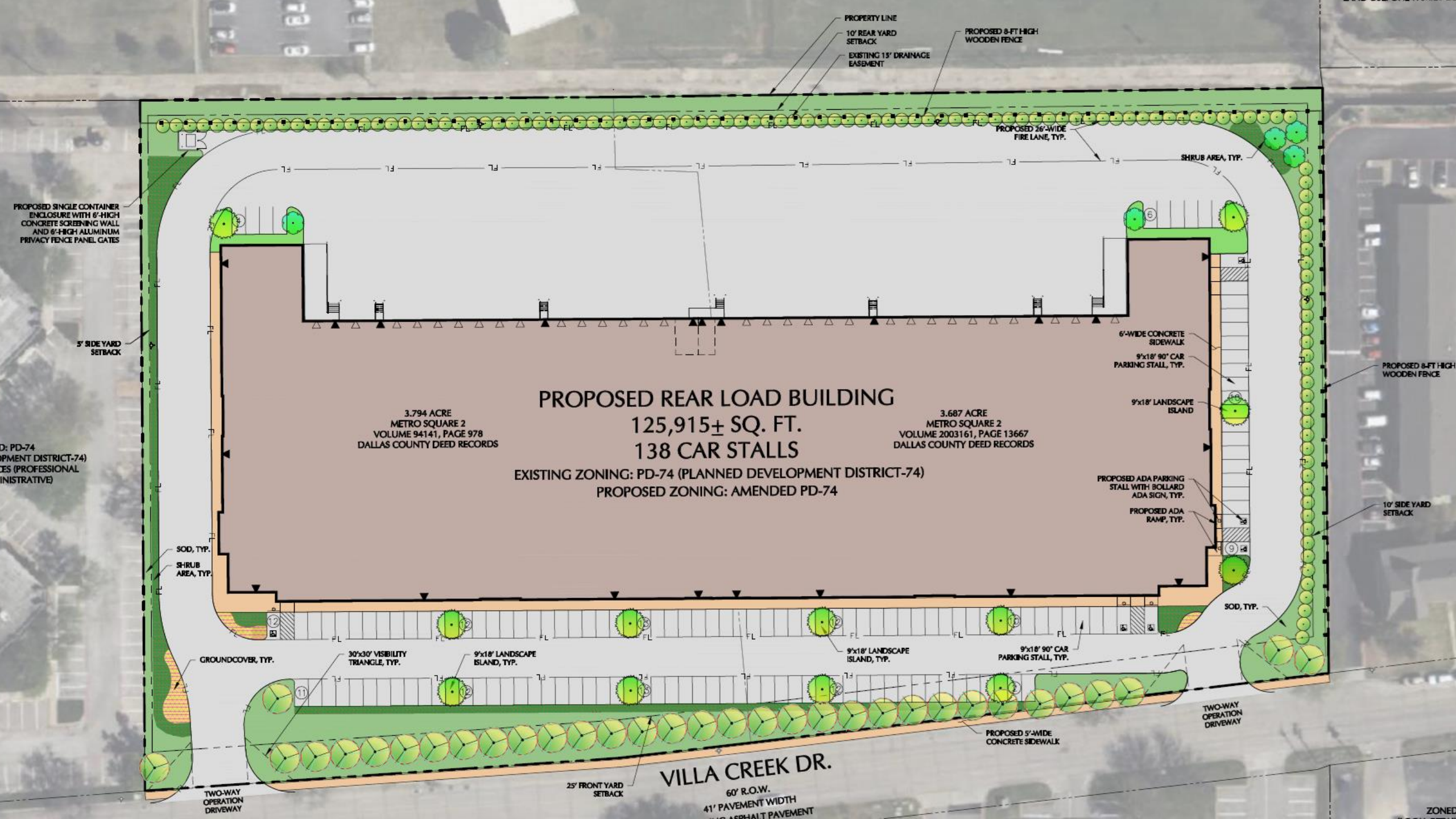
Checked By

K.YD

Drawing No.

CP-01

Sheet 1 of 1



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Proposed Development



- ✓ **Single story office/warehouse building, approximately 126,000 square feet**
- ✓ **138 parking spaces provided on-site**
- ✓ **15.9% of site dedicated to landscape areas**
- ✓ **This is a Concept Site Plan, with a Detailed Site Plan to come at a later date**

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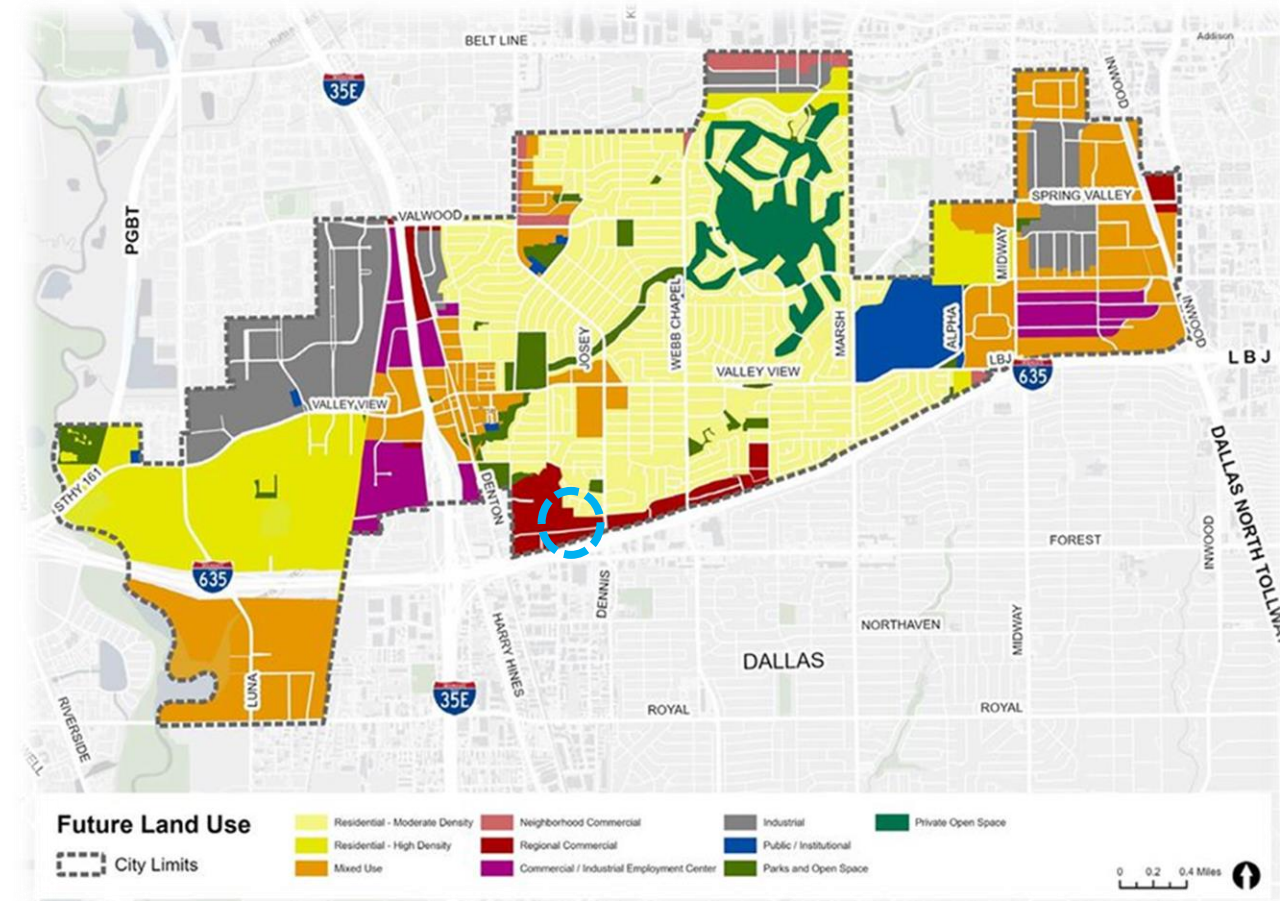
Recommendation & Response

Farmers Branch 2045 Comprehensive Plan

- Designated as “Regional Commercial”
- Recommended uses: large-footprint commercial developments, shopping centers, and high-intensity office and service-type uses
- The proposal is not consistent with this designation

Public Response

- 22 letters mailed to surrounding owners
- Zoning notification signs posted on site
- 1 response received in support



Questions



FARMERS BRANCH
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