

**ORDINANCE NO. 3985**



**AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF FARMERS BRANCH, TEXAS, BY GRANTING A SPECIFIC USE PERMIT FOR A RESTAURANT FOR LOT 1 OF SINCLAIR ADDITION NO. 4 COMMONLY KNOWN AS 2243 VALWOOD PARKWAY, LOCATED IN PLANNED DEVELOPMENT DISTRICT NO. 22 (PD-22) ZONING DISTRICT; ADOPTING A SITE PLAN, LANDSCAPE PLAN AND ELEVATIONS; PROVIDING A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING FOR AN EFFECTIVE DATE. (CASE NO. 25-SU-09)**

**WHEREAS**, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the laws of the State of Texas and the ordinances of the City of Farmers Branch, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:**

**SECTION 1.** The Comprehensive Zoning Ordinance and zoning map of the City of Farmers Branch, Texas, be, and the same is hereby amended, so as to grant a change in zoning by granting a Specific Use Permit for a Restaurant on Lot 1, Sinclair Addition No. 4, an addition to the City of Farmers Branch as recorded in Volume 68168, Page 2419, Plat of Records, Dallas County, Texas (commonly known as 2243 Valwood Parkway) (“the Property”) and located within Planned Development District No. 22 (PD-22) Zoning District.

**SECTION 2.** The Property shall conform in operation, location, and construction to the development standards applicable to the Planned Development District No. 22 (PD-22) Zoning District. If used for the purpose of a restaurant, development of the property shall substantially conform to that of Exhibit “A” “Detailed Site Plan”, Exhibit “B” “Landscape Plan”, and Exhibit “C” “Elevations”.

**SECTION 3.** In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Farmers Branch and the provisions of this Ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

**SECTION 4.** An offense committed before the effective date of this Ordinance is governed by prior law, and the provisions of the Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

**SECTION 5.** If any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any portion thereof other than that portion so decided to be invalid or unconstitutional.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense.

**SECTION 7.** This ordinance and the right to use the Property in accordance with the Specific Use Permit granted pursuant to Section 1 of this Ordinance are subject to termination in accordance with Chapter 94, Section 6.5.C. of the Comprehensive Zoning Ordinance, as amended. With respect to the enforcement of this Section 7, each use for which a Specific Use Permit is granted pursuant to this Ordinance shall be treated separately, such that the cessation and termination of one use does not result in the cessation and termination of all uses for which a Specific Use Permit was granted.

**SECTION 8.** This ordinance shall take effect immediately from and after its passage, and the publication of the caption of said Ordinance as the law and the City Charter in such cases provides.

**DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, ON THIS, THE 17th DAY OF FEBRUARY 2026.**

ATTEST:

APPROVED:

\_\_\_\_\_  
Erin Flores, TRMC, City Secretary

\_\_\_\_\_  
Terry Lynne, Mayor

APPROVED AS TO FORM:

\_\_\_\_\_  
David Berman, City Attorney





# Ordinance No. 3985 Exhibit "C" - "Elevations"



**SITLER**  
ARCHITECTURE

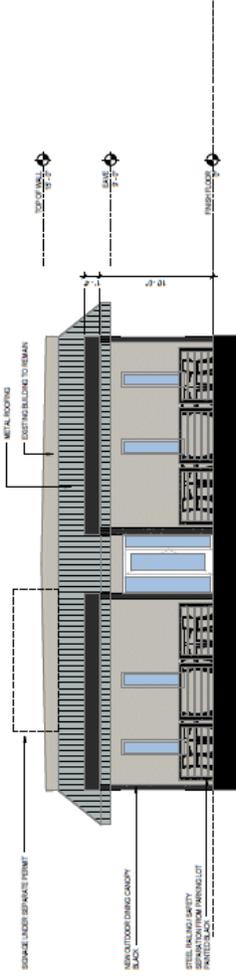
10000 W. VAUGHAN DRIVE  
SUITE 100  
DALLAS, TEXAS 75244  
PHONE: 214.343.1111  
WWW.SITLERARCHITECTURE.COM

**2243 VALWOOD PKWY**  
FARMERS BRANCH TX 75333

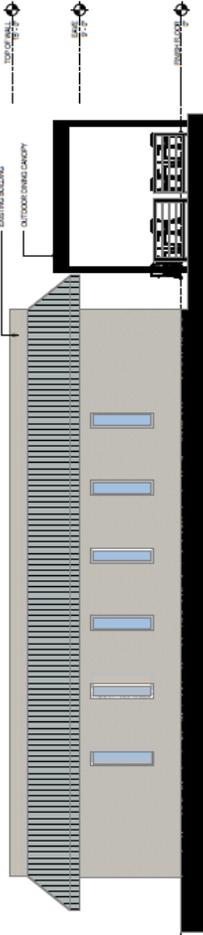
PROPOSED ELEVATIONS

A-201  
SHEET NO.

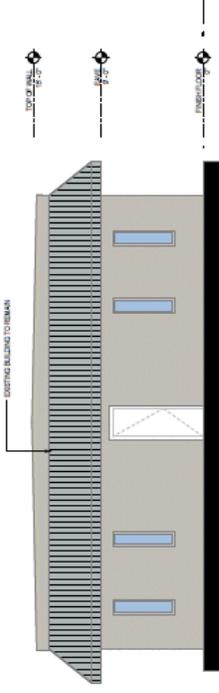
  



**1 FRONT - SOUTH ELEVATION Copy 1**  
1/4" = 1'-0"



**3 SIDE - WEST ELEVATION (EAST ELEVATION MIRROR) Copy 1**  
1/4" = 1'-0"



**2 BACK - NORTH ELEVATION Copy 1**  
1/4" = 1'-0"