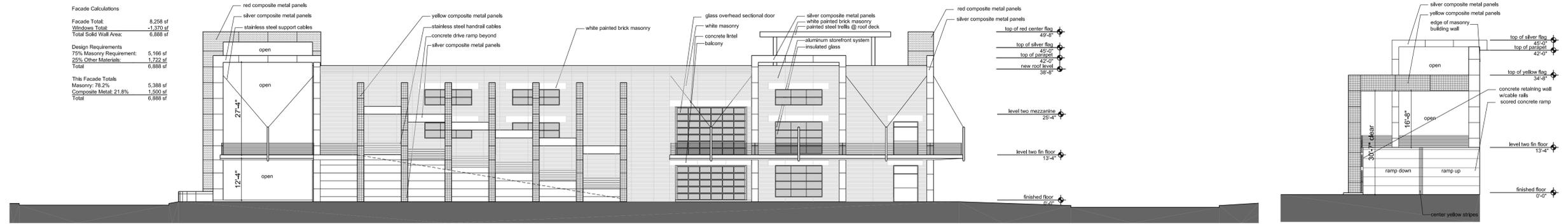


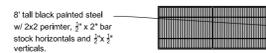


4 north elevation (visible to McEwen Road)

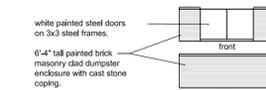


3 east elevation

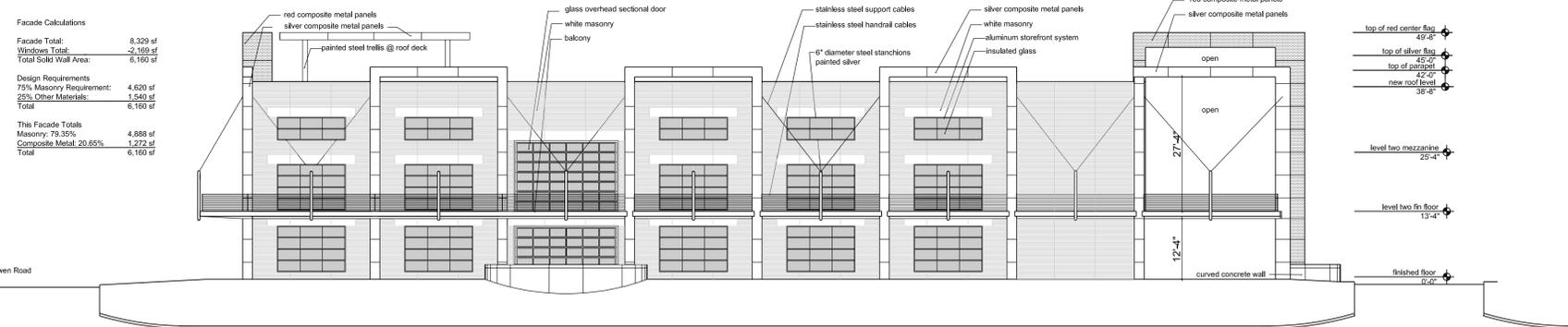
5 ramp elevation



fence detail

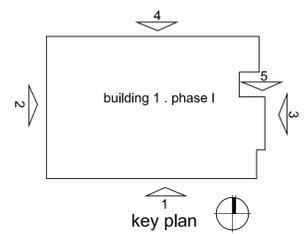
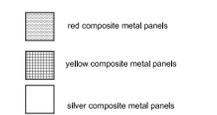


trash enclosure



2 west elevation (visible to Midway Road)

composite metal panels legend



DATE	ACTION

Planning & Zoning Commission Date: \_\_\_\_\_  
 City Council Date: \_\_\_\_\_  
 Ordinance No: \_\_\_\_\_  
 Resolution No: \_\_\_\_\_  
 Administrative Approval Date: \_\_\_\_\_

Midway Conversion

1 south elevation

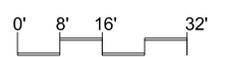
new exterior elevations . phase one

Owner: Parker Midway, L.P.  
 PO Box 971  
 Whitesboro, TX 76273  
 Contact: Jeff P. Howle  
 (214) 802-8008

Architect: Edwin Brantley Smith + Associates  
 8226 Douglas Avenue, Suite 600  
 Dallas, TX 75225  
 Contact: Edwin Brantley Smith, AIA  
 (214) 368-1900

Legal Description: Lot 1, Block A Midway-McEwen Addition Instrument No. 201600012808 O.P.R.D.C.T.  
 Parker Midway, LP Volume 99061, Page 4573 D.R.D.C.T.  
 170,395 SF, 3.912 Acres  
 Property Address: 13342 Midway Road  
 Farmers Branch, TX 75244

scale: 1" = 16'-0"  
 29 July 2019





Facade Calculations

Facade Total:	7,848 sf
Windows Total:	-3,868 sf
Total Solid Wall Area:	4,182 sf

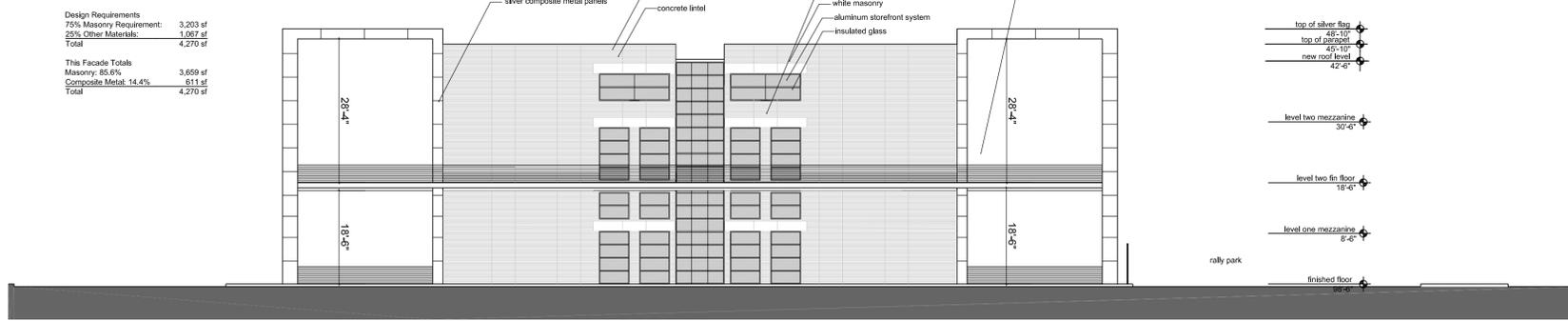
Design Requirements

75% Masonry Requirement:	3,136 sf
25% Other Materials:	1,046 sf
Total:	4,182 sf

This Facade Totals

Masonry: 77.1%	3,223 sf
Composite Metal: 22.9%	959 sf
Total:	4,182 sf

### 4 north elevation (visible to McEwen Road)



Facade Calculations

Facade Total:	5,461 sf
Windows Total:	-1,181 sf
Total Solid Wall Area:	4,270 sf

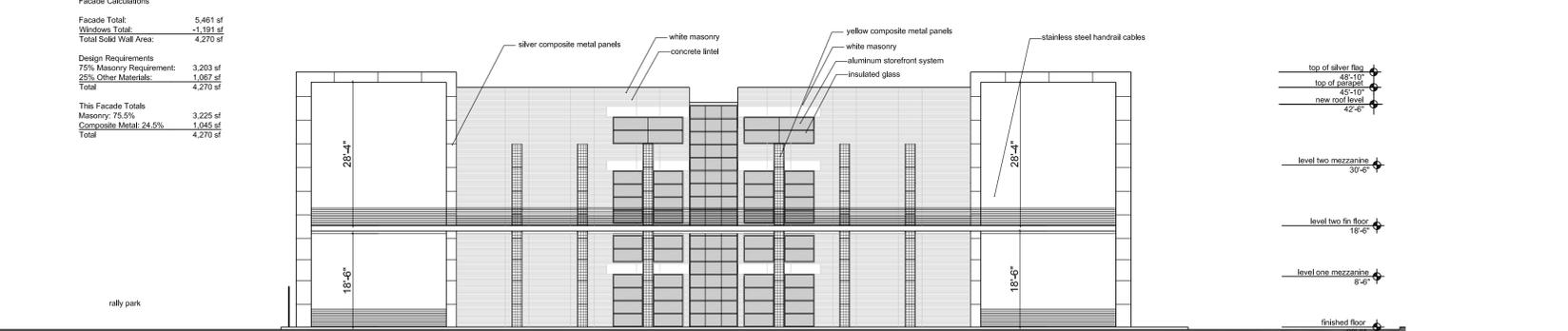
Design Requirements

75% Masonry Requirement:	3,203 sf
25% Other Materials:	1,067 sf
Total:	4,270 sf

This Facade Totals

Masonry: 85.6%	3,659 sf
Composite Metal: 14.4%	611 sf
Total:	4,270 sf

### 3 east elevation



Facade Calculations

Facade Total:	5,461 sf
Windows Total:	-1,181 sf
Total Solid Wall Area:	4,270 sf

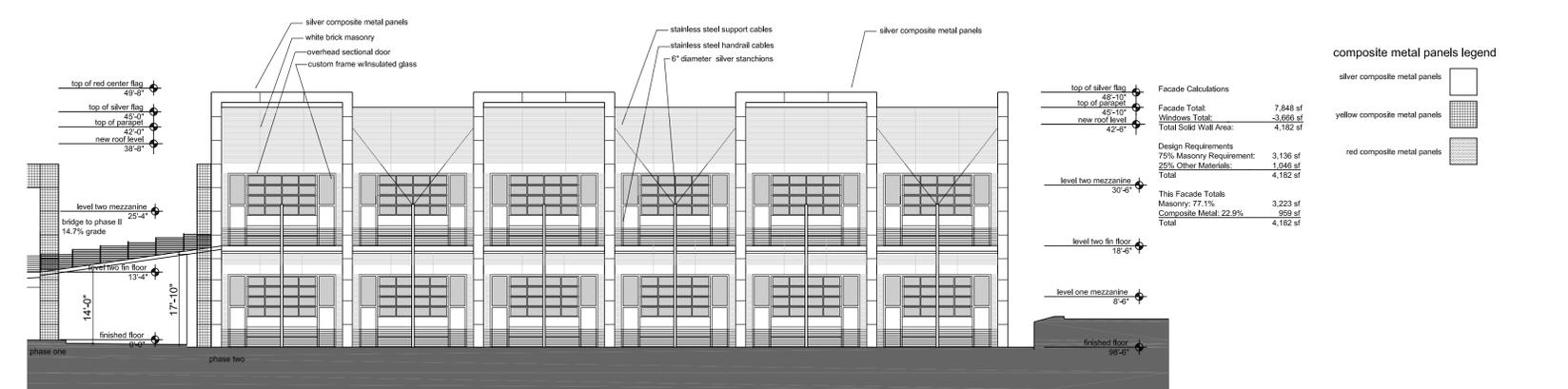
Design Requirements

75% Masonry Requirement:	3,203 sf
25% Other Materials:	1,067 sf
Total:	4,270 sf

This Facade Totals

Masonry: 75.5%	3,225 sf
Composite Metal: 24.5%	1,045 sf
Total:	4,270 sf

### 2 west elevation



Facade Calculations

Facade Total:	7,848 sf
Windows Total:	-3,868 sf
Total Solid Wall Area:	4,182 sf

Design Requirements

75% Masonry Requirement:	3,136 sf
25% Other Materials:	1,046 sf
Total:	4,182 sf

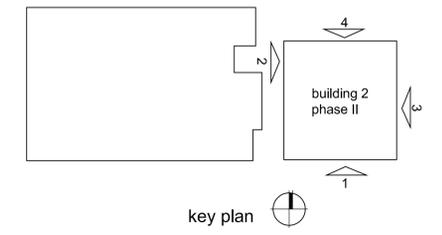
This Facade Totals

Masonry: 77.1%	3,223 sf
Composite Metal: 22.9%	959 sf
Total:	4,182 sf

### 1 south elevation

composite metal panels legend

silver composite metal panels	[Symbol]
yellow composite metal panels	[Symbol]
red composite metal panels	[Symbol]



DATE	ACTION

## Midway Conversion

Owner: Parker Midway, L.P.  
PO Box 971  
Whitesboro, TX 76273  
Contact: Jeff P. Howle  
(214) 802-8008

Architect: Edwin Brantley Smith + Associates  
8226 Douglas Avenue, Suite 600  
Dallas, TX 75225  
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Parker Midway, LP Volume 99061, Page 4573 D.R.D.C.T.  
170,395 SF, 3.912 Acres  
Property Address: 13342 Midway Road  
Farmers Branch, TX 75244

## new exterior elevations . phase two

scale: 1" = 16'-0"  
29 July 2019

