



FARMERS BRANCH
TEXAS

Specific Use Permit: 3125 Brookhollow Drive

City Council Meeting | August 18, 2026

Requested By: Community Services Department

Specific Use Permit: 3125 Brookhollow Drive

Background



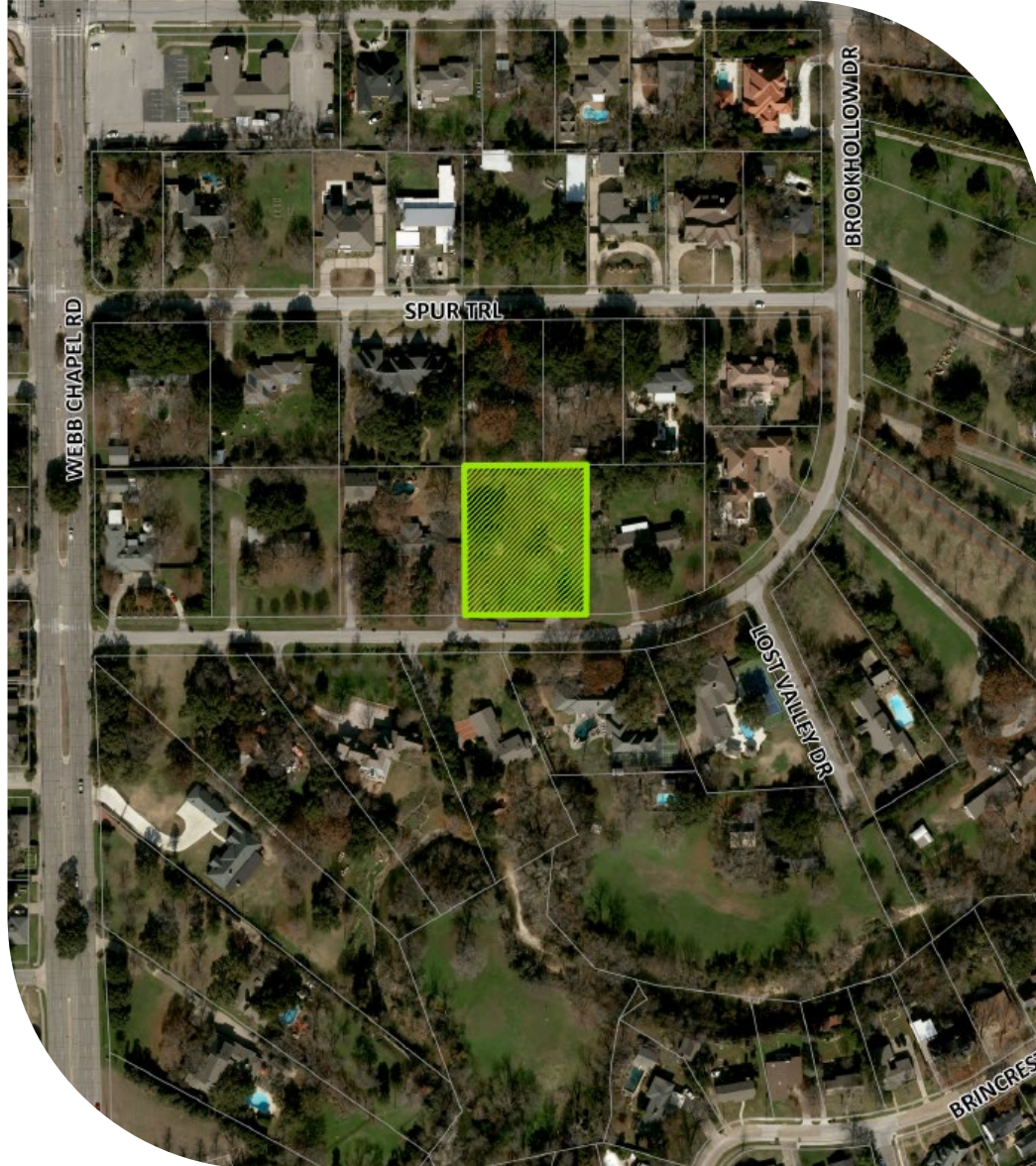
Subject property: Approximately 1 acre.



Zoning: R-1

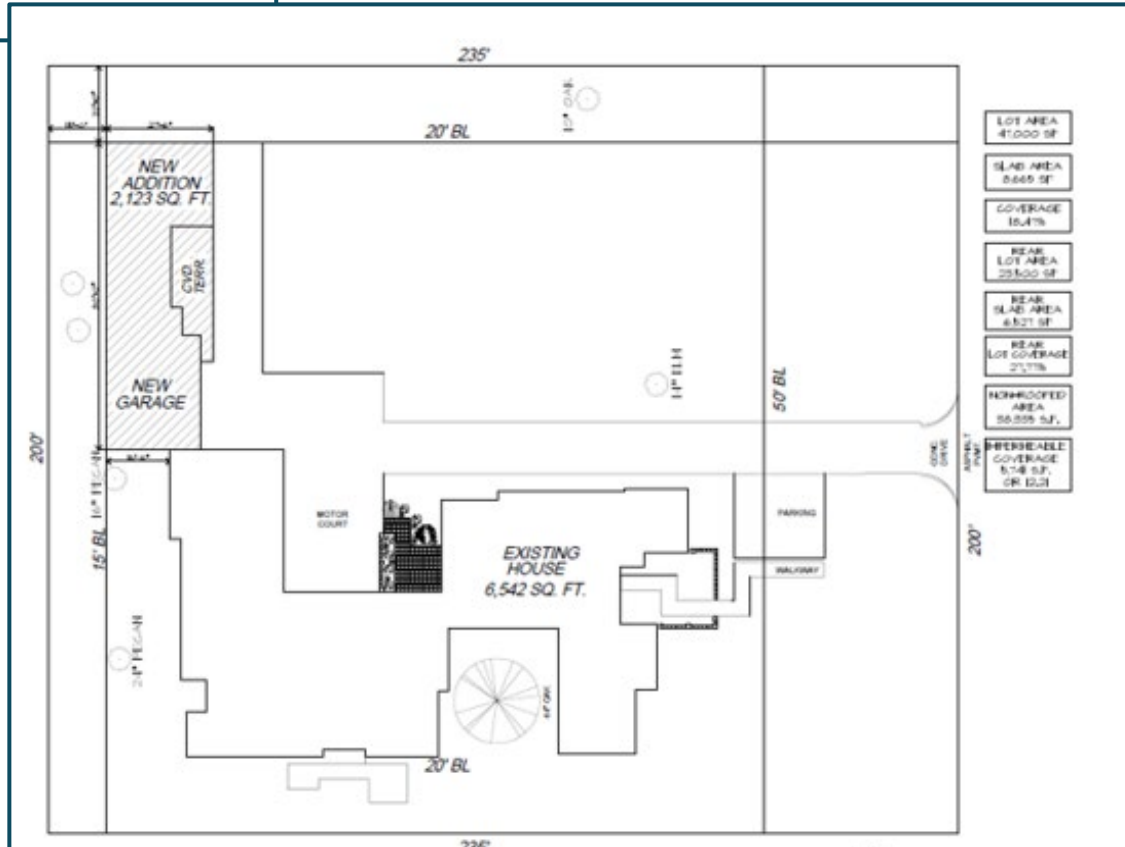
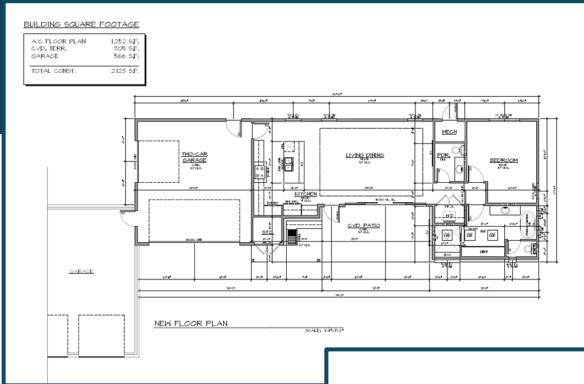


Specific Use Permit (SUP) request for guest quarters.



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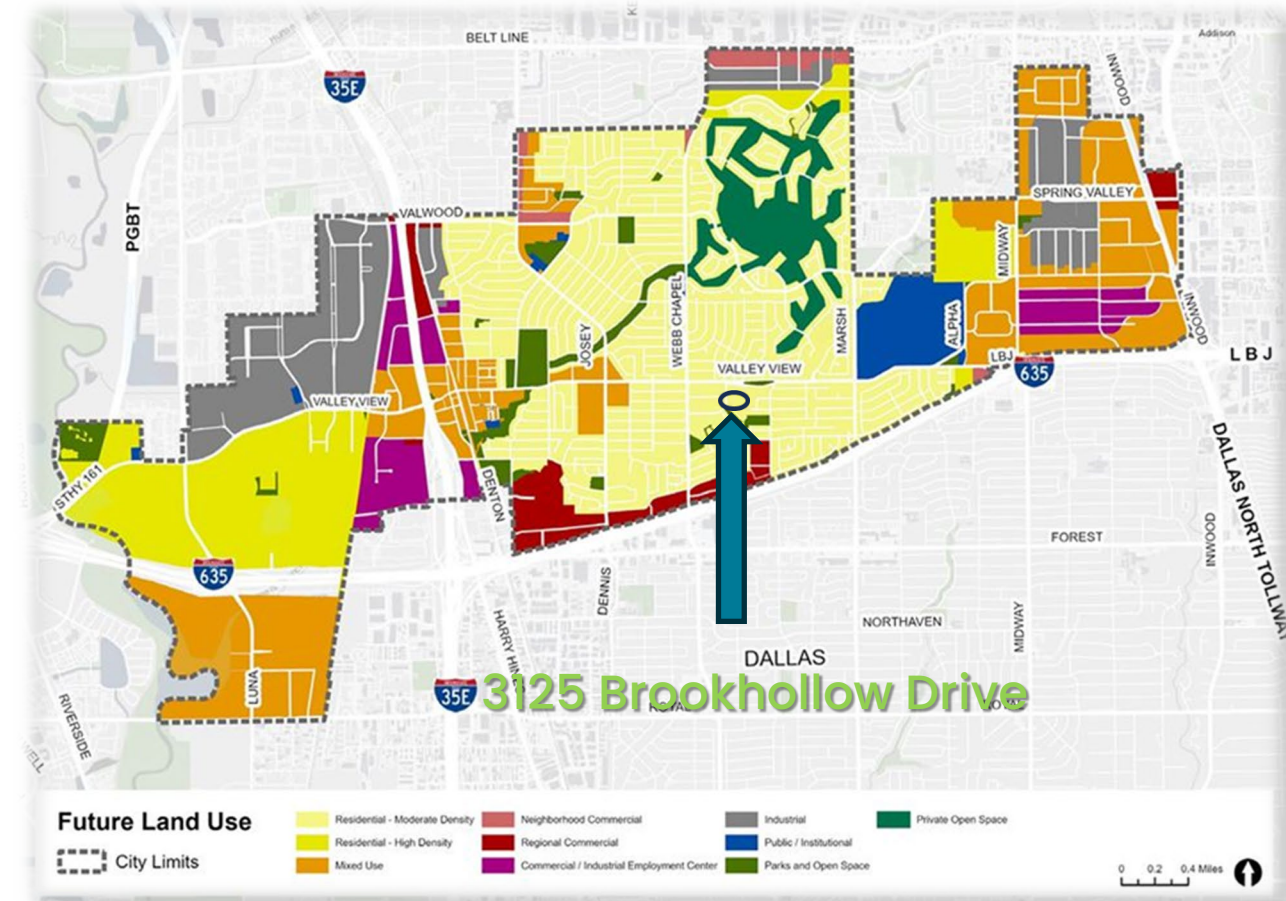
Proposed Development



- ✓ **Applicants: Nick Patel/John & Jennifer Huffman**
- ✓ **Existing 6,542 square foot single-family home.**
- ✓ **Proposed 2,123 square foot guest quarters will feature:**
 - ❖ **Two-car garage**
 - ❖ **Kitchen**
 - ❖ **Living/Dining area**
 - ❖ **Bathroom**
 - ❖ **Bedroom**
 - ❖ **Covered Patio**
- ✓ **Proposed guest quarters meets all applicable requirements of Comprehensive Zoning Ordinance (CZO) Section 2.9.**

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Farmers Branch 2045 Plan Recommendation



Future Land Use Designation: Moderate Density Residential.



Recommended uses: single-family homes; duplexes; townhomes; churches; schools; and institutional uses.



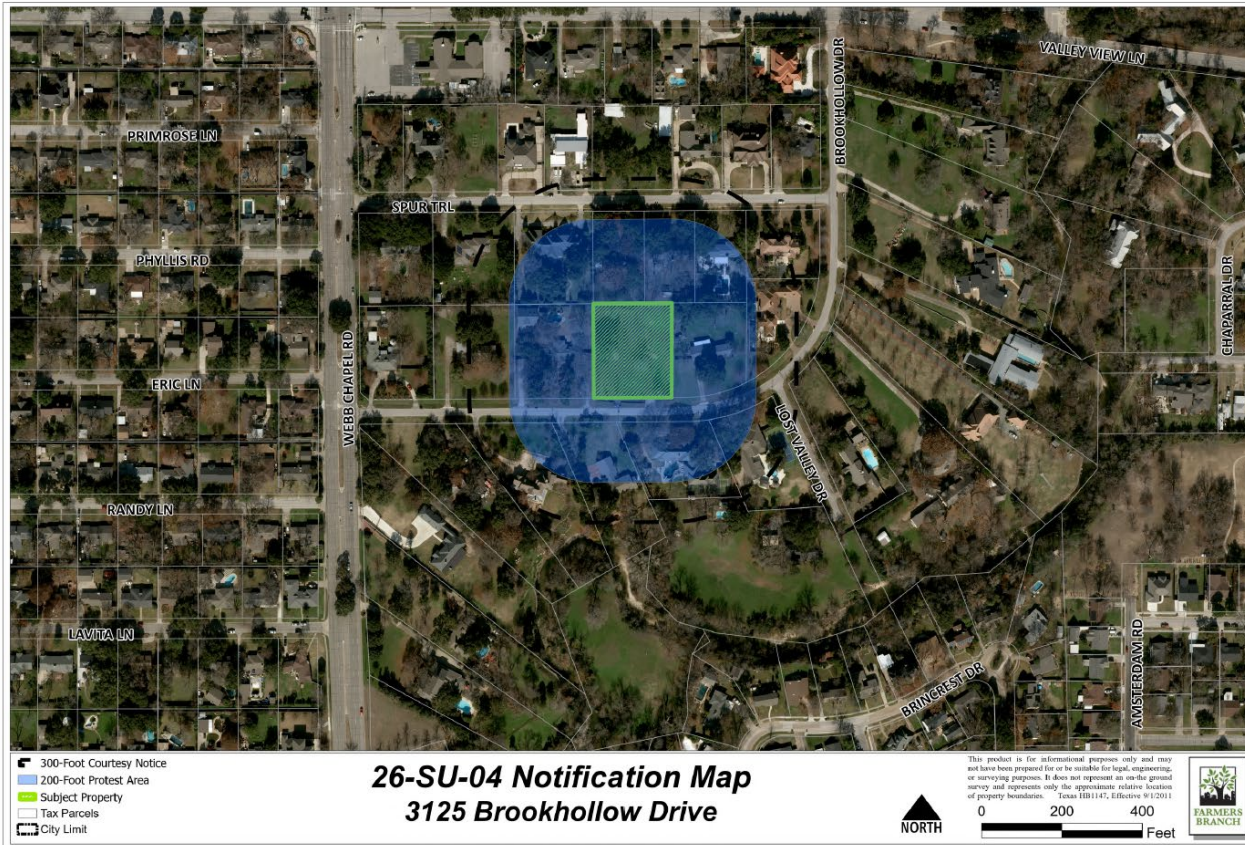
Housing diversity highly encouraged.



Proposal consistent with Farmers Branch 2045 Plan.

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Public Response and Planning Zoning Commission Recommendation



- ✓ **July 2, 2026: 23 notification letters mailed to all property owners within 300 feet plus both Carrollton-Farmers Branch and Dallas ISDs. Zoning sign placed onsite same day.**
- ✓ **25 letters and emails in opposition received: 13 within 200-foot protest area.**
- ✓ **Approximately 64.59% in opposition: 200-foot protest area.**
- ✓ **Per Texas State law, simple majority vote by City Council required for approval due to request being purely residential.**
- ✓ **July 13th Planning and Zoning Commission Meeting: Commission votes to recommend denial by a 4 to 3 vote.**

Questions



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