

**ORDINANCE NUMBER 2344**

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; SO AS TO GRANT A SPECIFIC USE PERMIT FOR A RESIDENCE HOTEL WITHIN THE PLANNED DEVELOPMENT NUMBER 64 (PD-64) ZONING DISTRICT AT THE SOUTHWEST CORNER OF SPRING VALLEY ROAD AND MIDWAY ROAD, APPROXIMATELY 300 FEET WEST OF MIDWAY ROAD AND 600 FEET SOUTH OF SPRING VALLEY ROAD, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; PROVIDING FOR INJUNCTIVE RELIEF; AND PROVIDING AN EFFECTIVE DATE.

Whereas, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to amending the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning use should be made;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the zoning map of the City of Farmers Branch so as to grant a Specific Use Permit for a residence hotel within the Planned Development Number 64 (PD-64) zoning district and located at the southwest corner of Spring Valley Road and Midway Road, approximately 300 feet west of Midway Road and 600 feet south of Spring Valley Road.

SECTION 2. That the City Council has determined the residence hotel to be appropriate in use, design, and layout for the site and area and warrants a lot size of less than four (4) acres as so provided under Ordinance No. 2249, an amendment to the Comprehensive Zoning Ordinance.

SECTION 3. That the residence hotel and its associated improvements shall be constructed and specifically located in accordance with the approved site plan attached as Exhibit "A" and subject to all conditions stated herein.

SECTION 4. That the location of drive approaches and street medians shall conform to the approved Concept Plan and Preliminary Plat.

SECTION 5. That the landscape/screening berms shall be maintained at a height of not less than 3 feet relative to the street curb.

SECTION 6. That the free-standing signs shall be limited to one monument sign as shown on the site plan. Said sign shall be constructed of brick to match the building. Lettering shall be individually illuminated channel letters. Sign dimensions shall not exceed five (5) feet in height and ten (10) feet in length.

SECTION 7. That the ornamental fence columns shall be constructed of brick matching the building.

SECTION 8. That the exterior walls and roof of cabana shall be same materials as main building (i.e., brick and metal, respectively).

SECTION 9. That the public sidewalk shall be extended to west property line. Final location and dimension of the sidewalk shall be subject to Staff approval to ensure it is installed in general accordance with proposed landscape plan for Parkside Boulevard.

SECTION 10. That the final utility locations, maintenance responsibility, and any additional easements shall be determined and approved by Staff prior to issuance of any building permits.

SECTION 11. That at time of planting, screening shrubs around the pool, patio and cabana area shall be a minimum 5 gallon container size, no less than 3 feet tall, and full and bushy in character.

SECTION 12. That the property shall be used for no other purpose except as an residence hotel in full compliance with the approved site plan and associated conditions unless such alternative use complies fully with the prevailing zoning and is approved by the City Council following a recommendation by the Planning and Zoning Commission.

SECTION 13. That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as herein amended and by the granting of a specific use permit for a residence hotel.

SECTION 14. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon convictions shall be punishable by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense.

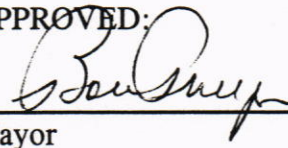
SECTION 15. If any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 16. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 17. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such case provides.

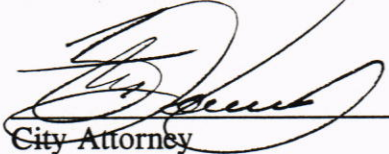
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH,
TEXAS, on this the 18th day of August, 1997.

APPROVED:



Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:



City Secretary

StudioPLUSTM
An Extended Stay Hotel

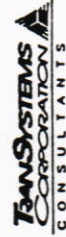
**CAITY SMALLEY
DEVELOPMENT SERVICES COORDINATOR
(606) 335-7832**



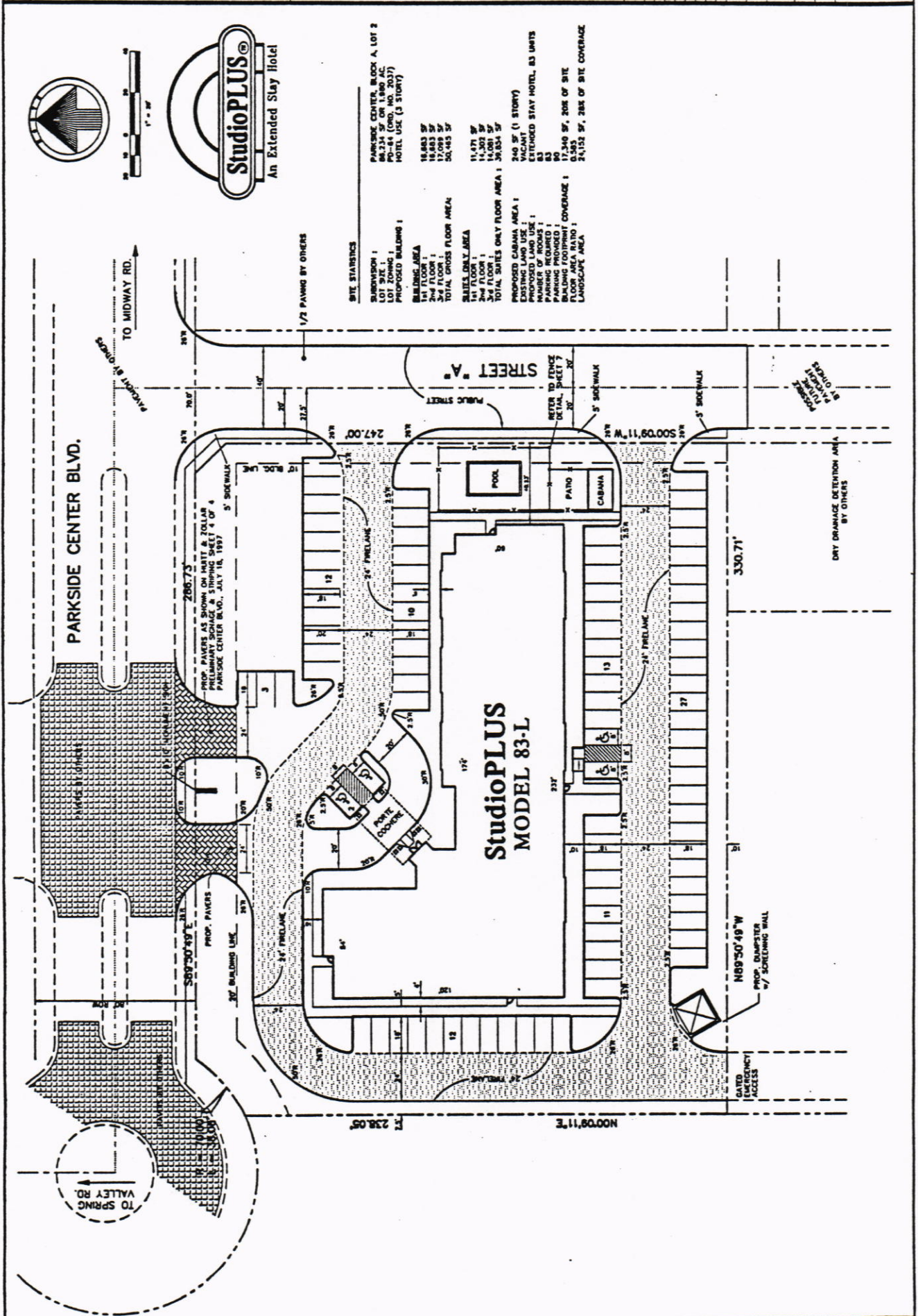
EXHIBIT "A" (1 of 11)

1. COVER SHEET
2. CONCEPTUAL SITE PLAN
3. CONCEPTUAL UTILITY LAYOUT
4. CONCEPTUAL DRAINAGE PLAN
5. CONCEPTUAL LANDSCAPE PLAN
6. CONCEPTUAL IRRIGATION SLEEVING PLAN
7. FENCE DETAILS
8. CABANA DETAILS

PLANS PREPARED BY



**NATIONS BANK BUILDING
500 WEST SEVENTH ST., SUITE 600
FORT WORTH, TEXAS 76102
817-339-8950**



StudioPLUS

MODEL 83-L
 CITY OF FARMERS BRANCH, TEXAS

REVISIONS

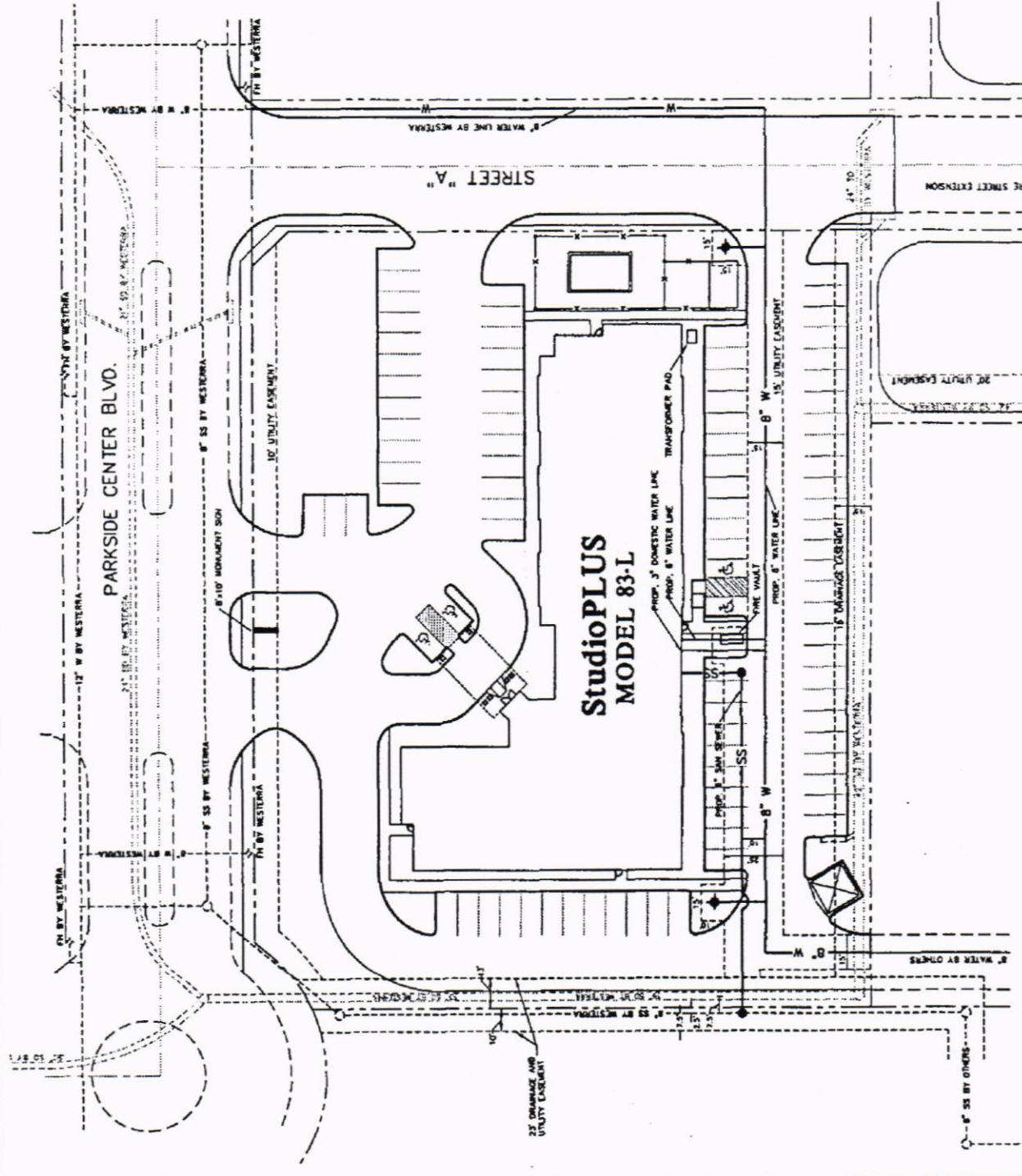
NO.	DATE	DESCRIPTION
1	07/20/1997	CONCEPTUAL UTILITY LAYOUT
2	07/20/1997	REVISIONS
3	07/20/1997	REVISIONS
4	07/20/1997	REVISIONS
5	07/20/1997	REVISIONS
6	07/20/1997	REVISIONS
7	07/20/1997	REVISIONS
8	07/20/1997	REVISIONS
9	07/20/1997	REVISIONS
10	07/20/1997	REVISIONS

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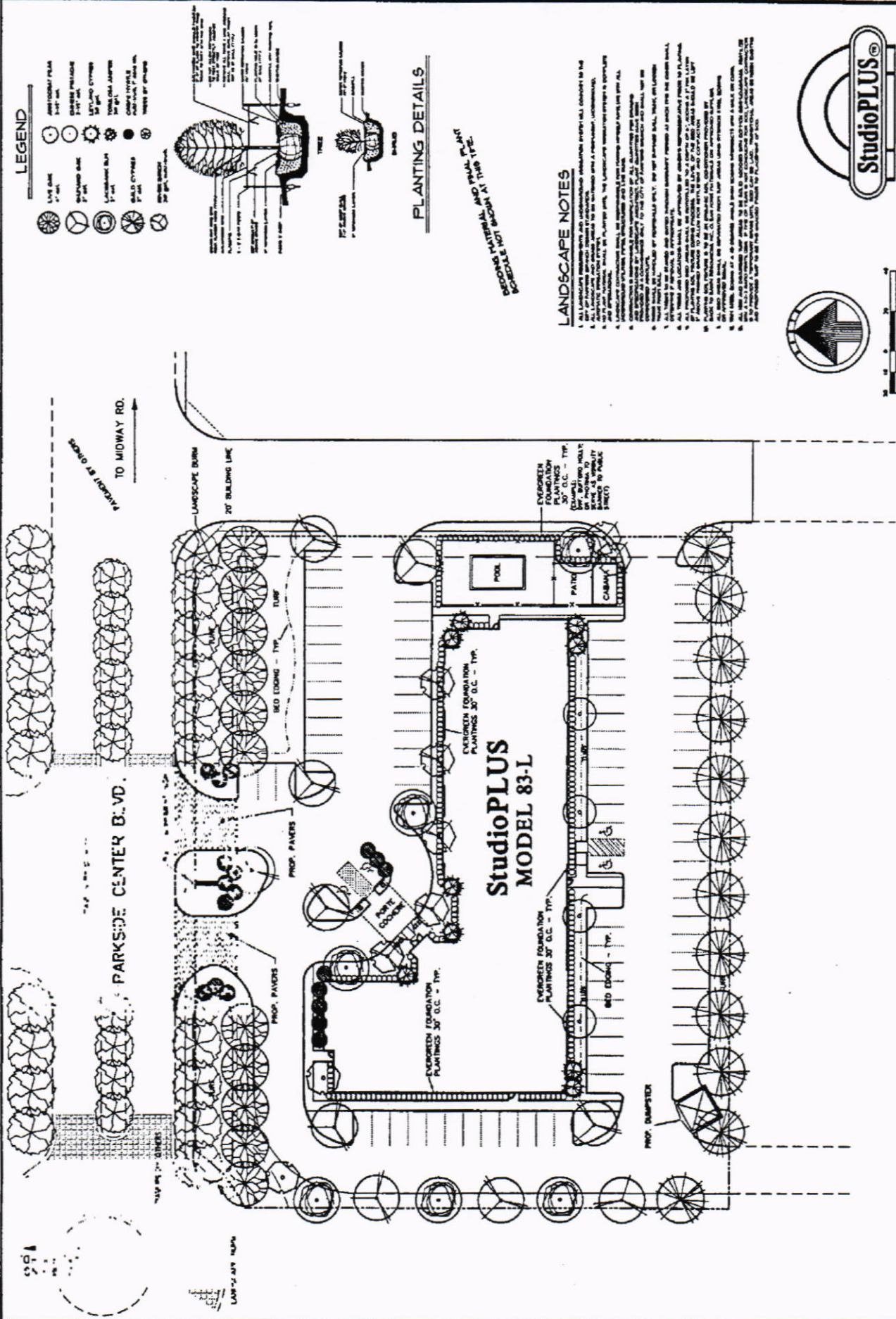
UTILITY LEGEND

BY OTHERS	PROP.
WATER LINE	—
SAN SEWER LINE	—
GAS	—
OVERHEAD ELEC.	—
UNDERGROUND ELEC.	—
WATER LINE	—
SAN SEWER MANHOLE	—
CLEAN OUT	—
PROP. HYDRANT	—
VALVE	—
POWER POLE	—
TELEPHONE POLE	—
TELEPHONE CLOSET PANEL	—
WATER METER	—

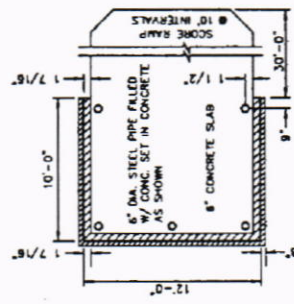


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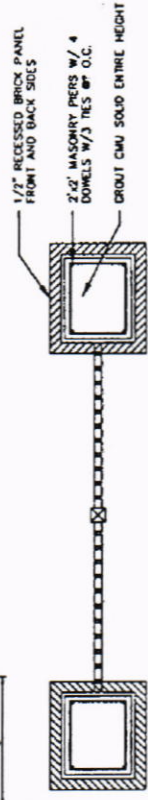
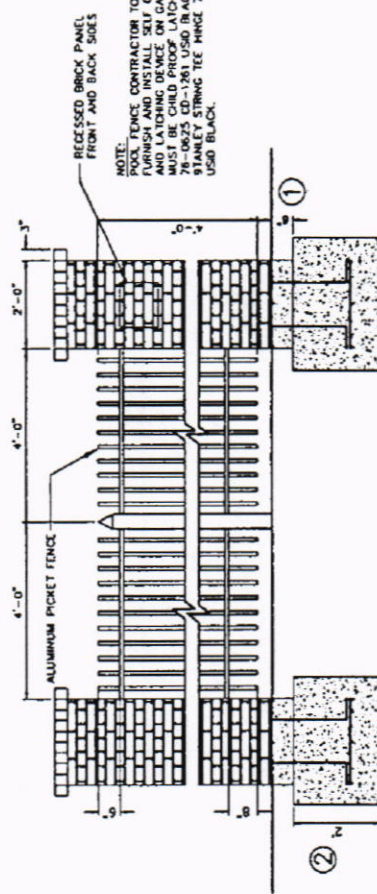




DETAIL
SCALE 1/4" = 1'
MASONRY DUMPSTER FENCE W/ CONC. PAD & APRON



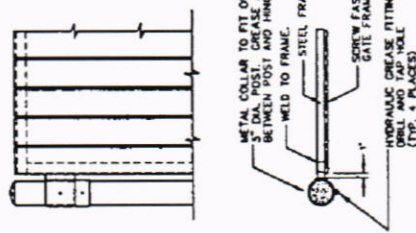
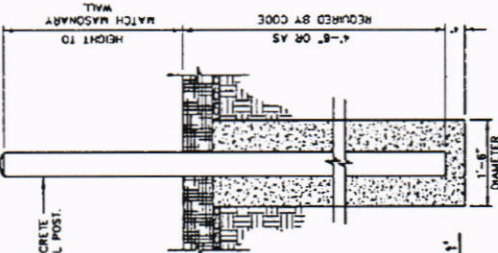
NOTE: POOL FENCE CONTRACTOR TO FURNISH AND INSTALL SELF CLOSING AND LATCHING DEVICE ON GATE. MUST BE CHILD PROOF LATCH TO BE STANLEY 78-0625 CD-1261 USED IN BACK HINGES TO BE STANLEY STRONG TEE HINGE 76-0860 90-1296 USED. BLACK



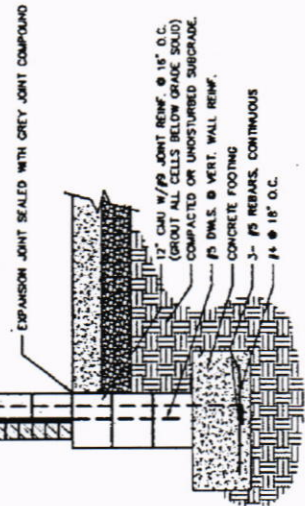
- ① DEPTH DETERMINED BY LOCAL FROST LINE AND OR DEPTH TO SUITABLE SOIL BEARING CONDITIONS.
- ② FOOTING DIMENSIONS TO BE DETERMINED BASED ON LOCAL SOIL CONDITIONS

DETAIL
ALUMINUM ORNAMENTAL FENCE
SCALE 3/4" = 1'

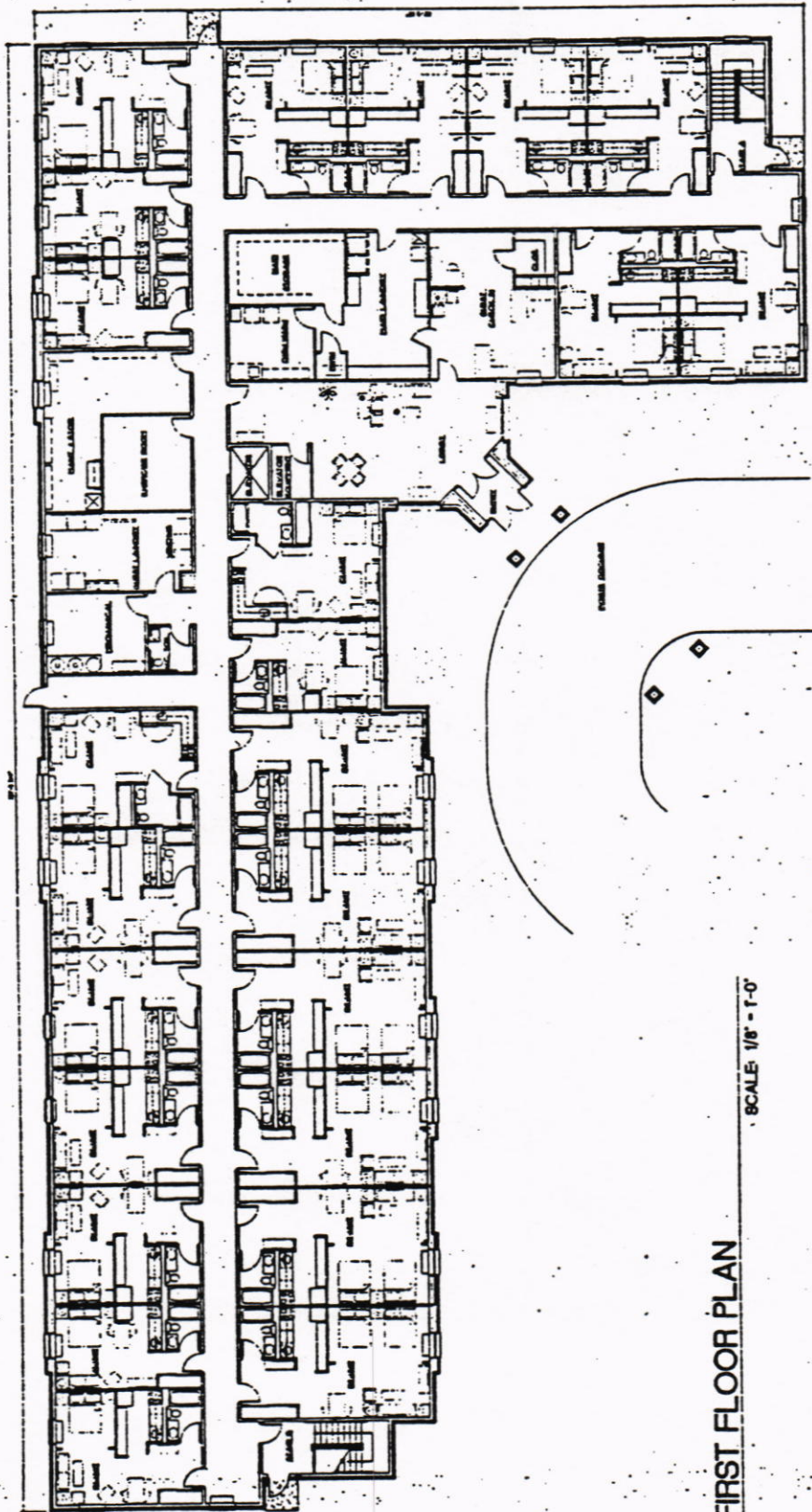
DETAIL
DUMPSTER GATE AND HINGE
SCALE 1" = 1'



2" CONT W/ 1/2" x 10"
ANCHOR BOLTS @ 48" O.C. MAX.
PREFR. ALUMINUM CAP SLOPE 1/4"
/ FT. TO INSIDE. PAINT TO MATCH WALL.
CONTINUOUS BOND BEAM W/ #4 REBAR.
4" FACE BRICK TO MATCH BUILDING.
AS VERTICAL REBAR 12" O.C. AND @ END
AND CORNERS. UNJOINT CELLS FULL AT REBAR.
HORIZONTAL CHU REINFORCEMENT EVERY SECOND
CELL. PROVIDE 1/2" MIN. GAP FOR
ADJUSTABLE ASSURES FOR COMPOSITE WALL.
NOTE: DO NOT BE TO BUILDING WALL. PROVIDE
EXPANSION JOINT WITH WHITE SILICONE SEALANT
AT EACH END.
6" CHU WALL. SEE SHEET C-1 FOR LOCATION
SOLID MORTAR JOINT (NO AIR SPACE)

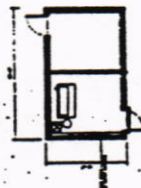


DETAIL
DUMPSTER SCREEN WALL SECTION
SCALE 1" = 1'



FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"



CROSS SECTION

UNIT MAX			
TYPE	NO. UNITS	NO. PLACES	NO. PLACES
1. SUITE	1	17	17
2. SUITE	1	17	17
3. SUITE	1	17	17
4. SUITE	1	17	17
5. SUITE	1	17	17
6. SUITE	1	17	17
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100. SUITE	1	17	17

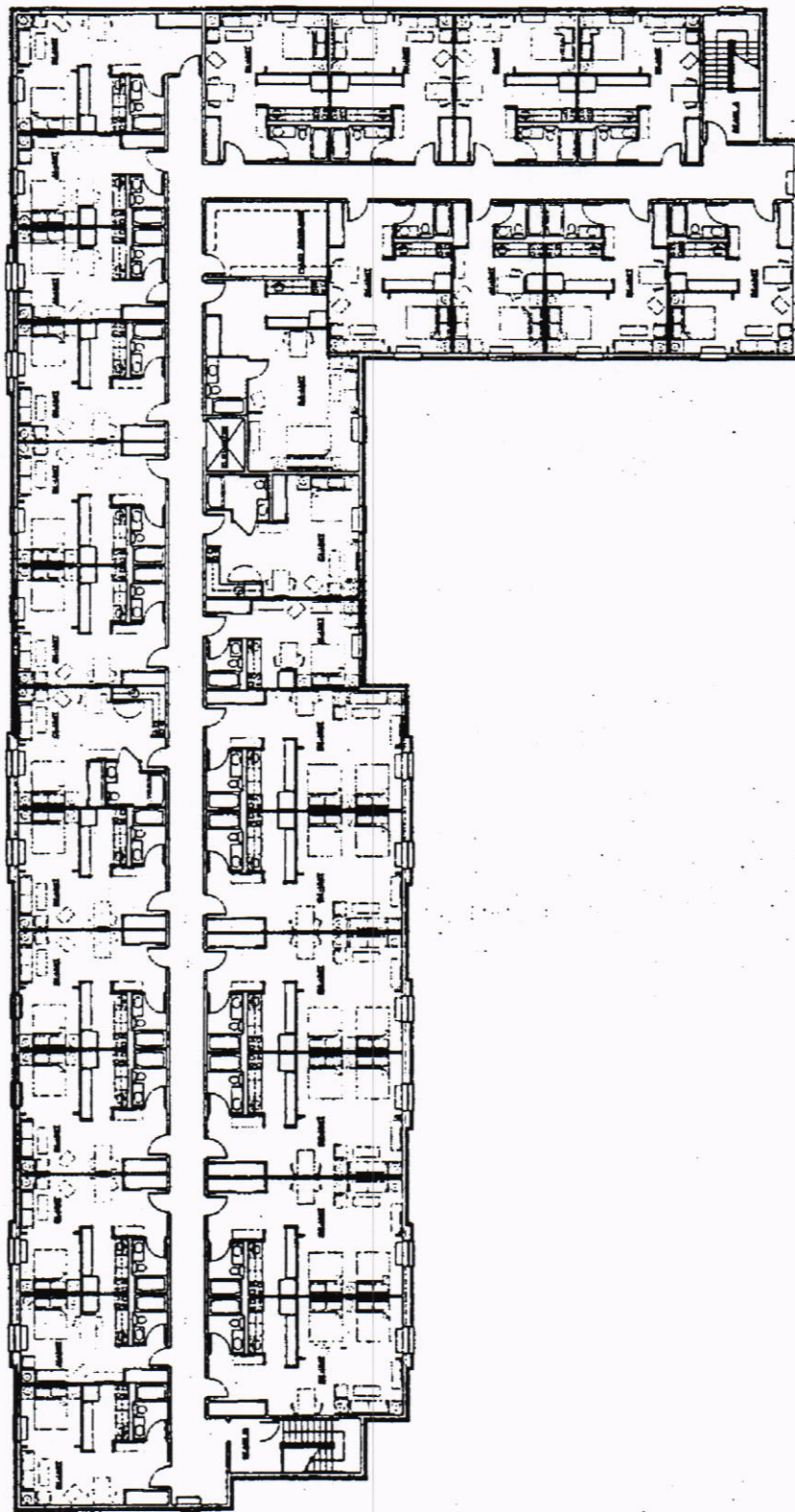
STUDIO PLUS

FARMERS BRANCH, TEXAS

THREE STORY - 83 UNIT

EXHIBIT "A" (8 of 11)

FEBRUARY 28, 1997
REV. JULY 17, 1997



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

STUDIO PLUS

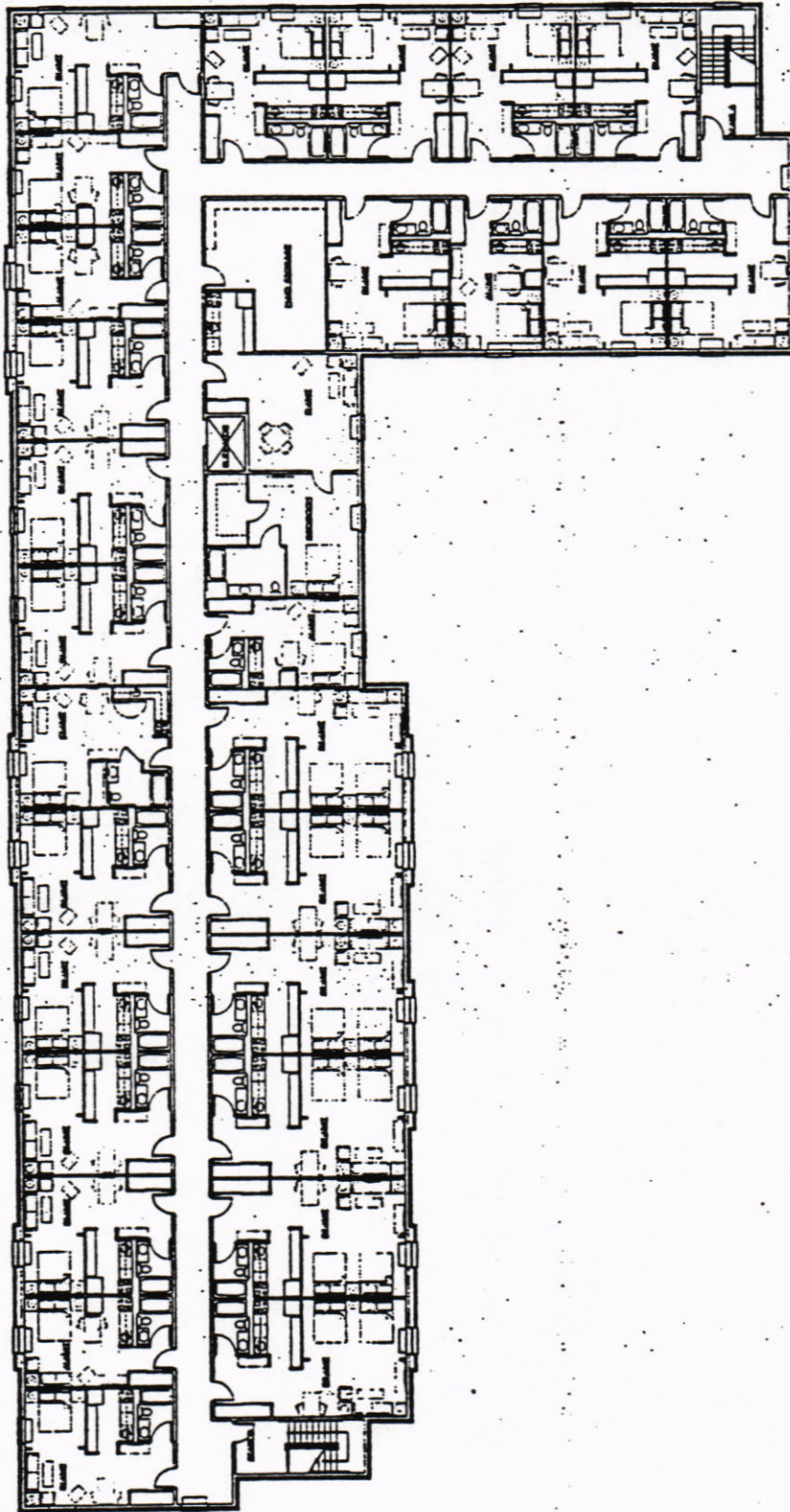
FARMERS BRANCH, TEXAS

THREE STORY - 83 UNIT

FEBRUARY 28, 1997
REV. JULY 17, 1997

ARCHITECTS
231 Eastman Street
St. Louis, Missouri 63103
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THIRD FLOOR PLAN

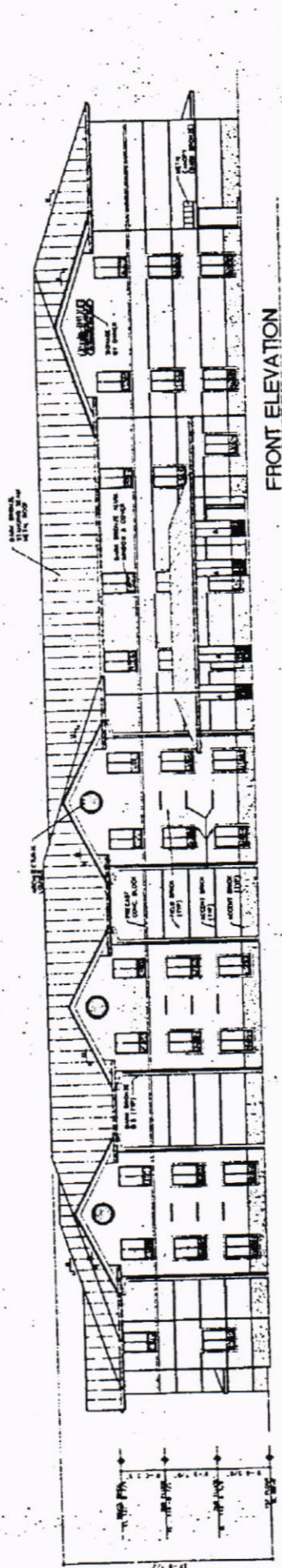
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STUDIO PLUS

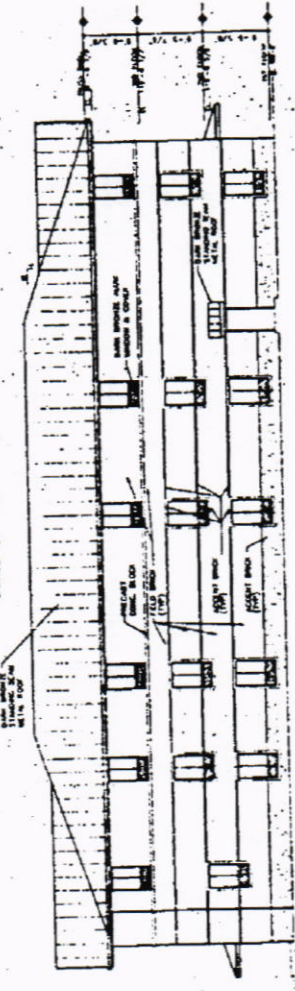
FARMERS BRANCH, TEXAS

THREE STORY - 83 UNIT

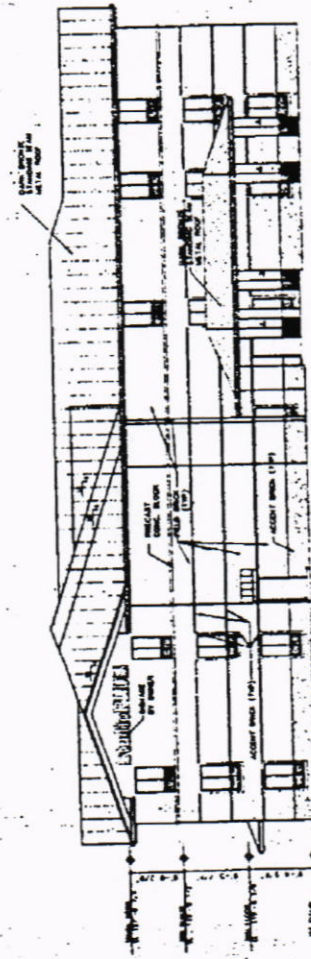
EXHIBIT "A" (10 of 11)



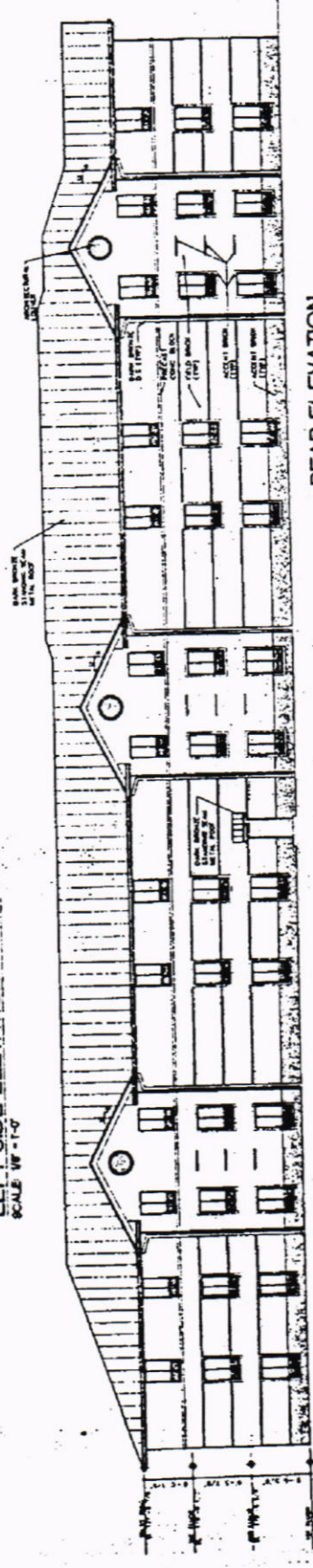
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



STUDIO PLUS

FARMERS BRANCH, TEXAS

MARCH 7, 1997
JULY 17, 1997

THREE STORY - 60 UNIT

2K



TS