



ORDINANCE NO. 3857

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE DEVELOPMENT AND USE OF LOTS 1, 2, 3, 4X, 5X, 6X, AND 7X, BLOCK A, MERCER BOARDWALK ADDITION WITHIN PLANNED DEVELOPMENT ZONING DISTRICT NUMBER 99 (PD-99); ADOPTING A DETAILED SITE PLAN; PROVIDING FOR ADDITIONAL DEVELOPMENT REGULATIONS; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A CONFLICTS RESOLUTION CLAUSE; REPEALING RESOLUTION NO. 2021-04; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the laws of the State of Texas and the ordinances of the City of Farmers Branch, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. The Comprehensive Zoning Ordinance and Zoning Map of the City of Farmers Branch, Texas, as previously amended (collectively, “the CZO”) is further amended by amending as set forth in Section 2 of this Ordinance the regulations of Planned Development No. 99 (PD-99) as set forth in Exhibit “C” to Ordinance No. 3724 (the “PD-99 Development Regulations”), relating to the use and development of Lots 1, 2, 3 and Lots 4X-7X, Block A, Boardwalk Mercer Addition, an addition to the City of Farmers Branch, Dallas County, Texas, according to the plat thereof as recorded in Instrument No. 202200241316, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.) (the “Property”).

SECTION 2. The Property shall be developed and used in accordance with the use and development regulations of the CZO and the PD-99 Development Regulations, as previously amended, subject to the following modifications:

- A.** The Property shall be used and developed in accordance with the Detailed Site Plan, Landscape Plan, and Building Elevations attached hereto as Exhibits “A,” “B,” and “C,” respectively and incorporated herein by reference.

- B.** In addition to uses listed in Section III.B.1.a of the PD-99 Development Regulations, the Property may be developed and used for Banquet Hall or Events Center uses by right;
- C.** In addition to uses listed in Section III.B.1.b of the PD-99 Development Regulations, the Property may be developed and used for Commercial (Outdoor) Amusement uses as an accessory use to a permitted use developed on the Property;
- D.** The gross square footage of buildings constructed on the Property and developed and used for Banquet Hall and/or Events Center purposes may be counted for purposes of satisfying the requirements of Section III.B.1.e.(1)(a) of the PD-99 Development Regulations;
- E.** Active operations on the Property for Banquet Hall or Events Center use shall comply with the special performance standards set forth in Section 2.5.F of the CZO;
- F.** Notwithstanding Section IV.B. of the PD-99 Development Regulations, the façades of as the buildings identified on the Detailed Site Plan may be designed and constructed as shown on the Building Elevations;
- G.** Notwithstanding Section IV.B.1.b.(7) of the PD-99 Development Regulations, the buildings constructed on the Property may be set back further than fifty feet (50.0') from the Interstate 635 (LBJ Freeway) right-of-way line provided they are located substantially as shown on the Detailed Site Plan;
- H.** Notwithstanding Section IV.B.4.b. of the PD-99 Development Regulations, the north façades of the buildings constructed on the Property facing Interstate 635 (LBJ Freeway) may be designed and constructed with fenestration ranging from 16% to 24% as shown on the Building Elevations;
- I.** Notwithstanding Sections V.C.1.c. and V.C.1.d. of the PD-99 Development Regulations, the number of required off-street parking spaces to be constructed on the Property may be reduced to 393 spaces, provided the Property is developed in accordance with the buildings and uses identified on the Detailed Site Plan;
- J.** Notwithstanding Section V.C.1.c.(2) of the PD-99 Development Regulations, surface parking constructed on the Property may be located between Interstate 635 (LBJ Freeway) and the buildings constructed on the Property provided such parking is located as shown on the Detailed Site Plan; and
- K.** Notwithstanding Section V.D.2.a of the PD-99 Development Regulations, one double-faced pylon sign with LED electronic message display shall be permitted on the Property subject to the following:
 - (1)** Such sign shall be constructed at the location shown on the Detailed Site Plan;

- (2) Such sign shall be designed and constructed in accordance with the dimensions and materials shown on “Exhibit D,” attached hereto and incorporated herein by reference;
- (3) The content of such sign is limited exclusively to the name, location, services, products, and activities of operations of businesses located on and events occurring within the Property and shall at no time communicate in any form information relating to business entities and/or events located or occurring respectively, off the Property; and
- (4) Such sign shall comply with Section 62.14(b) of the Code of Ordinances, as amended or succeeded except as modified by this Section 2.K.

SECTION 3. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Farmers Branch and the provisions of this Ordinance as applicable to the use and development of the Property, including the provisions of the CZO, this Ordinance shall be controlling; however, in the absence of a relevant standard regulating the use or development of the Property in either this Ordinance or the PD-99 Development Regulations, as amended, then the provisions of the CZO, as amended, shall apply.

SECTION 4. Resolution No. 2021-04 is hereby repealed.

SECTION 5. Should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 7. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. In addition to and accumulative of all other remedies or penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 9. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

**DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH,
TEXAS, ON THIS THE 7TH DAY OF MAY 2024.**

ATTEST:

APPROVED:

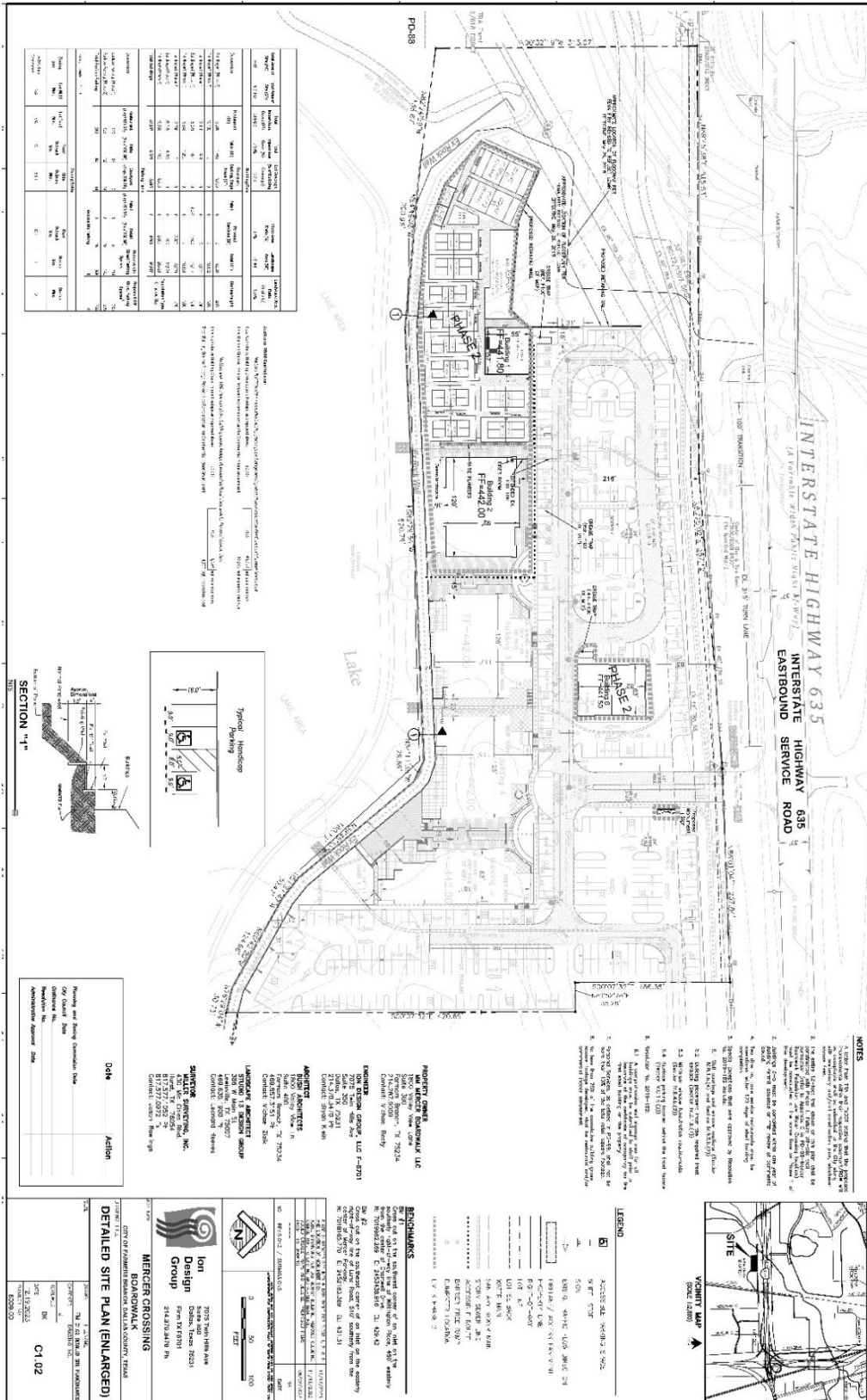
Stacy Henderson, TRMC, City Secretary

Terry Lynne, Mayor

APPROVED AS TO FORM:

David M. Berman, City Attorney
(kbl:4/2/2024:4868-8375-4674 v1)

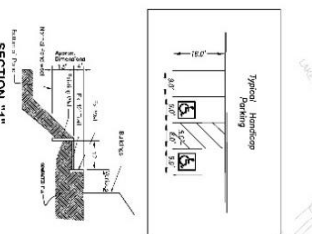
Ordinance No. 3857 Exhibit "A" – Detailed Site Plan



Category	Item	Quantity	Notes
LANDSCAPING	Plantings	100	See Schedule 'A'
	Plantings	100	See Schedule 'A'
PARKING	Spaces	100	See Schedule 'A'
	Spaces	100	See Schedule 'A'
UTILITIES	Water	100	See Schedule 'A'
	Water	100	See Schedule 'A'
TOTAL	Plantings	200	
	Plantings	200	

NOTES:

1. All dimensions are in feet and inches.
2. All dimensions are to the centerline of the road.
3. All dimensions are to the centerline of the building.
4. All dimensions are to the centerline of the parking lot.
5. All dimensions are to the centerline of the driveway.
6. All dimensions are to the centerline of the sidewalk.
7. All dimensions are to the centerline of the curb.
8. All dimensions are to the centerline of the gutter.
9. All dimensions are to the centerline of the storm sewer.
10. All dimensions are to the centerline of the water main.
11. All dimensions are to the centerline of the gas main.
12. All dimensions are to the centerline of the electric main.
13. All dimensions are to the centerline of the telecommunications main.
14. All dimensions are to the centerline of the fire main.
15. All dimensions are to the centerline of the sewer main.
16. All dimensions are to the centerline of the storm sewer main.
17. All dimensions are to the centerline of the water main main.
18. All dimensions are to the centerline of the gas main main.
19. All dimensions are to the centerline of the electric main main.
20. All dimensions are to the centerline of the telecommunications main main.
21. All dimensions are to the centerline of the fire main main.
22. All dimensions are to the centerline of the sewer main main.
23. All dimensions are to the centerline of the storm sewer main main.
24. All dimensions are to the centerline of the water main main main.
25. All dimensions are to the centerline of the gas main main main.
26. All dimensions are to the centerline of the electric main main main.
27. All dimensions are to the centerline of the telecommunications main main main.
28. All dimensions are to the centerline of the fire main main main.
29. All dimensions are to the centerline of the sewer main main main.
30. All dimensions are to the centerline of the storm sewer main main main.
31. All dimensions are to the centerline of the water main main main main.
32. All dimensions are to the centerline of the gas main main main main.
33. All dimensions are to the centerline of the electric main main main main.
34. All dimensions are to the centerline of the telecommunications main main main main.
35. All dimensions are to the centerline of the fire main main main main.
36. All dimensions are to the centerline of the sewer main main main main.
37. All dimensions are to the centerline of the storm sewer main main main main.
38. All dimensions are to the centerline of the water main main main main main.
39. All dimensions are to the centerline of the gas main main main main main.
40. All dimensions are to the centerline of the electric main main main main main.
41. All dimensions are to the centerline of the telecommunications main main main main main.
42. All dimensions are to the centerline of the fire main main main main main main.
43. All dimensions are to the centerline of the sewer main main main main main main.
44. All dimensions are to the centerline of the storm sewer main main main main main main.
45. All dimensions are to the centerline of the water main main main main main main main.
46. All dimensions are to the centerline of the gas main main main main main main main main.
47. All dimensions are to the centerline of the electric main main main main main main main main.
48. All dimensions are to the centerline of the telecommunications main main main main main main main main.
49. All dimensions are to the centerline of the fire main main main main main main main main main.
50. All dimensions are to the centerline of the sewer main main main main main main main main main.



Category	Item	Quantity	Notes
LANDSCAPING	Plantings	100	See Schedule 'A'
	Plantings	100	See Schedule 'A'
PARKING	Spaces	100	See Schedule 'A'
	Spaces	100	See Schedule 'A'
UTILITIES	Water	100	See Schedule 'A'
	Water	100	See Schedule 'A'
TOTAL	Plantings	200	
	Plantings	200	

VELOCITY MAP

LEGEND

- 1. 10' - 12' (10' - 12')
- 2. 12' - 14' (12' - 14')
- 3. 14' - 16' (14' - 16')
- 4. 16' - 18' (16' - 18')
- 5. 18' - 20' (18' - 20')
- 6. 20' - 22' (20' - 22')
- 7. 22' - 24' (22' - 24')
- 8. 24' - 26' (24' - 26')
- 9. 26' - 28' (26' - 28')
- 10. 28' - 30' (28' - 30')
- 11. 30' - 32' (30' - 32')
- 12. 32' - 34' (32' - 34')
- 13. 34' - 36' (34' - 36')
- 14. 36' - 38' (36' - 38')
- 15. 38' - 40' (38' - 40')
- 16. 40' - 42' (40' - 42')
- 17. 42' - 44' (42' - 44')
- 18. 44' - 46' (44' - 46')
- 19. 46' - 48' (46' - 48')
- 20. 48' - 50' (48' - 50')
- 21. 50' - 52' (50' - 52')
- 22. 52' - 54' (52' - 54')
- 23. 54' - 56' (54' - 56')
- 24. 56' - 58' (56' - 58')
- 25. 58' - 60' (58' - 60')
- 26. 60' - 62' (60' - 62')
- 27. 62' - 64' (62' - 64')
- 28. 64' - 66' (64' - 66')
- 29. 66' - 68' (66' - 68')
- 30. 68' - 70' (68' - 70')
- 31. 70' - 72' (70' - 72')
- 32. 72' - 74' (72' - 74')
- 33. 74' - 76' (74' - 76')
- 34. 76' - 78' (76' - 78')
- 35. 78' - 80' (78' - 80')
- 36. 80' - 82' (80' - 82')
- 37. 82' - 84' (82' - 84')
- 38. 84' - 86' (84' - 86')
- 39. 86' - 88' (86' - 88')
- 40. 88' - 90' (88' - 90')
- 41. 90' - 92' (90' - 92')
- 42. 92' - 94' (92' - 94')
- 43. 94' - 96' (94' - 96')
- 44. 96' - 98' (96' - 98')
- 45. 98' - 100' (98' - 100')

REMARKS:

1. All dimensions are in feet and inches.

2. All dimensions are to the centerline of the road.

3. All dimensions are to the centerline of the building.

4. All dimensions are to the centerline of the parking lot.

5. All dimensions are to the centerline of the driveway.

6. All dimensions are to the centerline of the sidewalk.

7. All dimensions are to the centerline of the curb.

8. All dimensions are to the centerline of the gutter.

9. All dimensions are to the centerline of the storm sewer.

10. All dimensions are to the centerline of the water main.

11. All dimensions are to the centerline of the gas main.

12. All dimensions are to the centerline of the electric main.

13. All dimensions are to the centerline of the telecommunications main.

14. All dimensions are to the centerline of the fire main.

15. All dimensions are to the centerline of the sewer main.

16. All dimensions are to the centerline of the storm sewer main.

17. All dimensions are to the centerline of the water main main.

18. All dimensions are to the centerline of the gas main main.

19. All dimensions are to the centerline of the electric main main.

20. All dimensions are to the centerline of the telecommunications main main.

21. All dimensions are to the centerline of the fire main main main.

22. All dimensions are to the centerline of the sewer main main main.

23. All dimensions are to the centerline of the storm sewer main main main.

24. All dimensions are to the centerline of the water main main main main.

25. All dimensions are to the centerline of the gas main main main main main.

26. All dimensions are to the centerline of the electric main main main main main.

27. All dimensions are to the centerline of the telecommunications main main main main main.

28. All dimensions are to the centerline of the fire main main main main main main.

29. All dimensions are to the centerline of the sewer main main main main main main.

30. All dimensions are to the centerline of the storm sewer main main main main main main.

31. All dimensions are to the centerline of the water main main main main main main main.

32. All dimensions are to the centerline of the gas main main main main main main main main.

33. All dimensions are to the centerline of the electric main main main main main main main main.

34. All dimensions are to the centerline of the telecommunications main main main main main main main main.

35. All dimensions are to the centerline of the fire main main main main main main main main main.

36. All dimensions are to the centerline of the sewer main main main main main main main main main.

37. All dimensions are to the centerline of the storm sewer main main main main main main main main main.

38. All dimensions are to the centerline of the water main main main main main main main main main main.

39. All dimensions are to the centerline of the gas main main main main main main main main main main main.

40. All dimensions are to the centerline of the electric main main main main main main main main main main main main.

41. All dimensions are to the centerline of the telecommunications main main main main main main main main main main main main.

42. All dimensions are to the centerline of the fire main main main main main main main main main main main main main.

43. All dimensions are to the centerline of the sewer main main main main main main main main main main main main main main.

44. All dimensions are to the centerline of the storm sewer main main main main main main main main main main main main main main main.

45. All dimensions are to the centerline of the water main main main main main main main main main main main main main main main main.

46. All dimensions are to the centerline of the gas main main main main main main main main main main main main main main main main main.

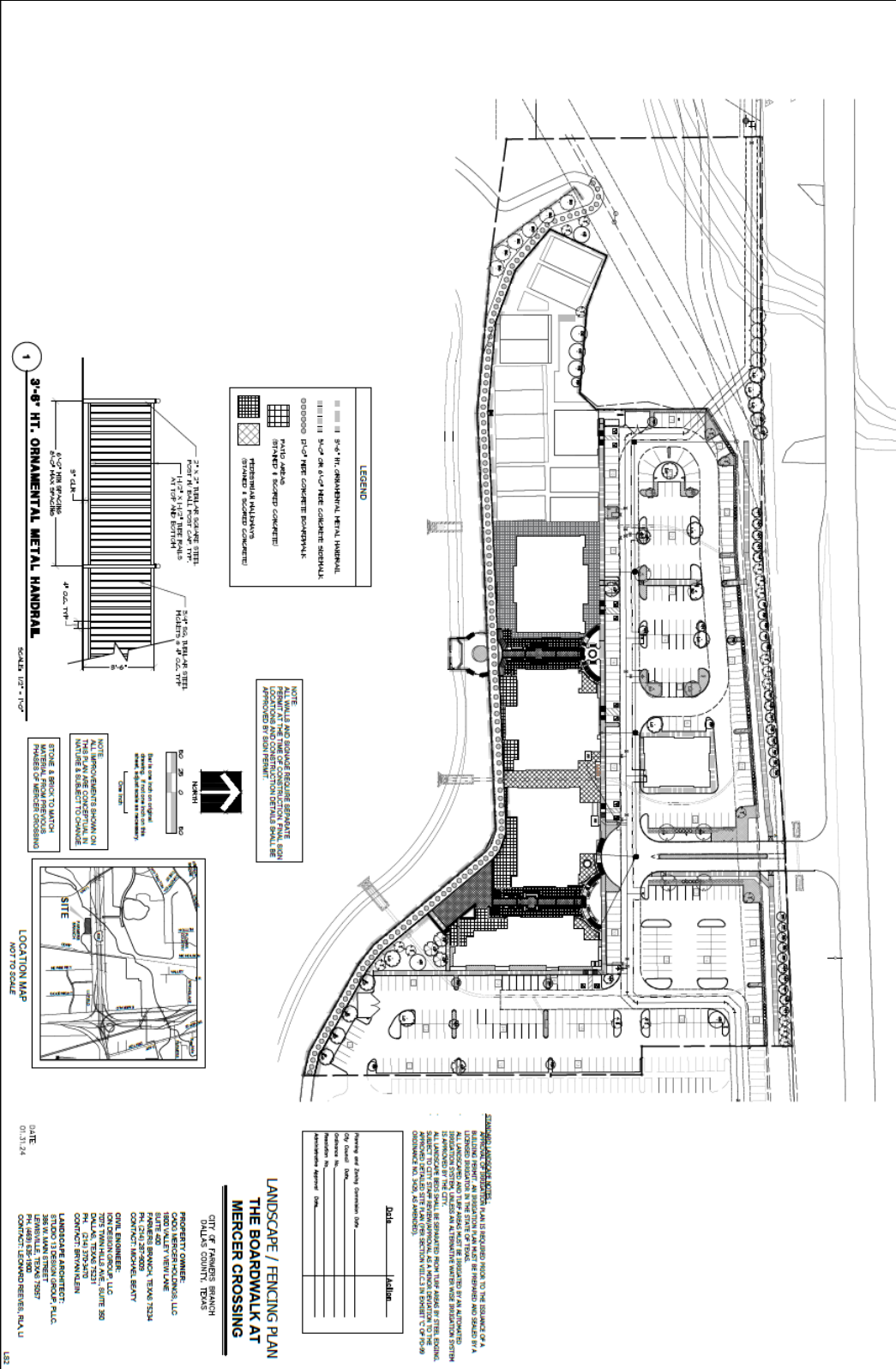
47. All dimensions are to the centerline of the electric main main main main main main main main main main main main main main main main main main.

48. All dimensions are to the centerline of the telecommunications main main main main main main main main main main main main main main main main main main main.

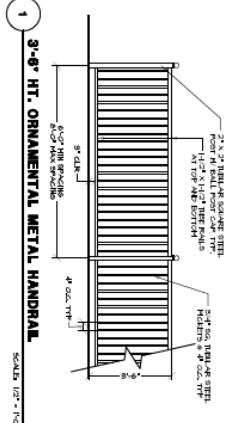
49. All dimensions are to the centerline of the fire main.

50. All dimensions are to the centerline of the sewer main.

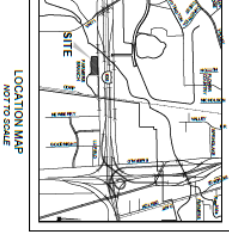
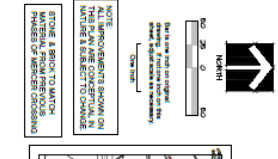
Ordinance No. 3857 Exhibit "B" – Landscape Plan



LEGEND	
[Symbol: 3'-6" HT. ORNAMENTAL METAL HANDRAIL]	3'-6" HT. ORNAMENTAL METAL HANDRAIL
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL]	3'-0" HT. SOLID METAL HANDRAIL
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS AND 2" DIA. PAINT]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS AND 2" DIA. PAINT
[Symbol: 3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS AND 2" DIA. PAINT AND 2" DIA. FINISH]	3'-0" HT. SOLID METAL HANDRAIL WITH 1" DIA. VERTICAL SLATS AND 4" DIA. POSTS AND 2" DIA. TOP RAILS AND 2" DIA. BOTTOM RAILS AND 2" DIA. SIDE RAILS AND 2" DIA. END CAPS AND 2" DIA. BRACKETING PLATES AND 2" DIA. WELDING BEADS AND 2" DIA. PAINT AND 2" DIA. FINISH



NOTE:
ALL WALLS AND SIGNAGE REQUIRE SEPARATE SIGNAGE PERMITS. ALL SIGNAGE PERMITS AND CONSTRUCTION DETAILS SHALL BE APPROVED BY THE CITY.



Date	Address

LANDSCAPE / FENCING PLAN
THE BOARDWALK AT
MERCER CROSSING

CITY OF FARMERS BRANCH
DALLAS COUNTY, TEXAS

PROPERTY OWNER:
COCO MERCER HOLDINGS, LLC
SITE AND
FARMERS BRANCH, TEXAS 75234
CONTACT: MICHAEL BEATY

CIVIL ENGINEER:
DYNTECH ENGINEERING, LLC
2505 RICHMOND AVENUE, SUITE 300
DALLAS, TEXAS 75231
CONTACT: MICHAEL BEATY

LANDSCAPE ARCHITECT:
STUDIO T DESIGN GROUP, P.L.L.C.
1000 W. LINDEN AVENUE, SUITE 100
FARMERS BRANCH, TEXAS 75237
CONTACT: LEONARD BENSEN, R.A.I.U.

DATE:
01.31.24

Ordinance No. 3857 Exhibit "C" – Elevations (Building 1)

1 ELEVATION - EAST ELEVATION (SEE PLAN SHEET 2023-08-27)

PROJECT INFORMATION	
PROJECT NAME	1001 LEU FREEWAY/INTERSTATE 695
CLIENT	1001 LEU FREEWAY/INTERSTATE 695
DATE	2023-08-27
SCALE	1/8" = 1'-0"

2 ELEVATION - WEST ELEVATION (SEE PLAN SHEET 2023-08-27)

PROJECT INFORMATION	
PROJECT NAME	1001 LEU FREEWAY/INTERSTATE 695
CLIENT	1001 LEU FREEWAY/INTERSTATE 695
DATE	2023-08-27
SCALE	1/8" = 1'-0"

3 ELEVATION - NORTH ELEVATION (SEE PLAN SHEET 2023-08-27)

PROJECT INFORMATION	
PROJECT NAME	1001 LEU FREEWAY/INTERSTATE 695
CLIENT	1001 LEU FREEWAY/INTERSTATE 695
DATE	2023-08-27
SCALE	1/8" = 1'-0"

4 ELEVATION - SOUTH ELEVATION (SEE PLAN SHEET 2023-08-27)

PROJECT INFORMATION	
PROJECT NAME	1001 LEU FREEWAY/INTERSTATE 695
CLIENT	1001 LEU FREEWAY/INTERSTATE 695
DATE	2023-08-27
SCALE	1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	2023-08-27	ISSUED FOR PERMITS

SHEET NAME: BLDG 1 - B & W ELEVATIONS
 DRAWING NO: ZP-01
 DATE: 2023-08-27

PROJECT INFORMATION

PROJECT NAME: 1001 LEU FREEWAY/INTERSTATE 695

CLIENT: 1001 LEU FREEWAY/INTERSTATE 695

DATE: 2023-08-27

SCALE: 1/8" = 1'-0"

PROJECT CONTACT INFORMATION

OWNER: AQUA UNITED CONSTRUCTION

ADDRESS: 400 S. DUNN ST. SUITE 100

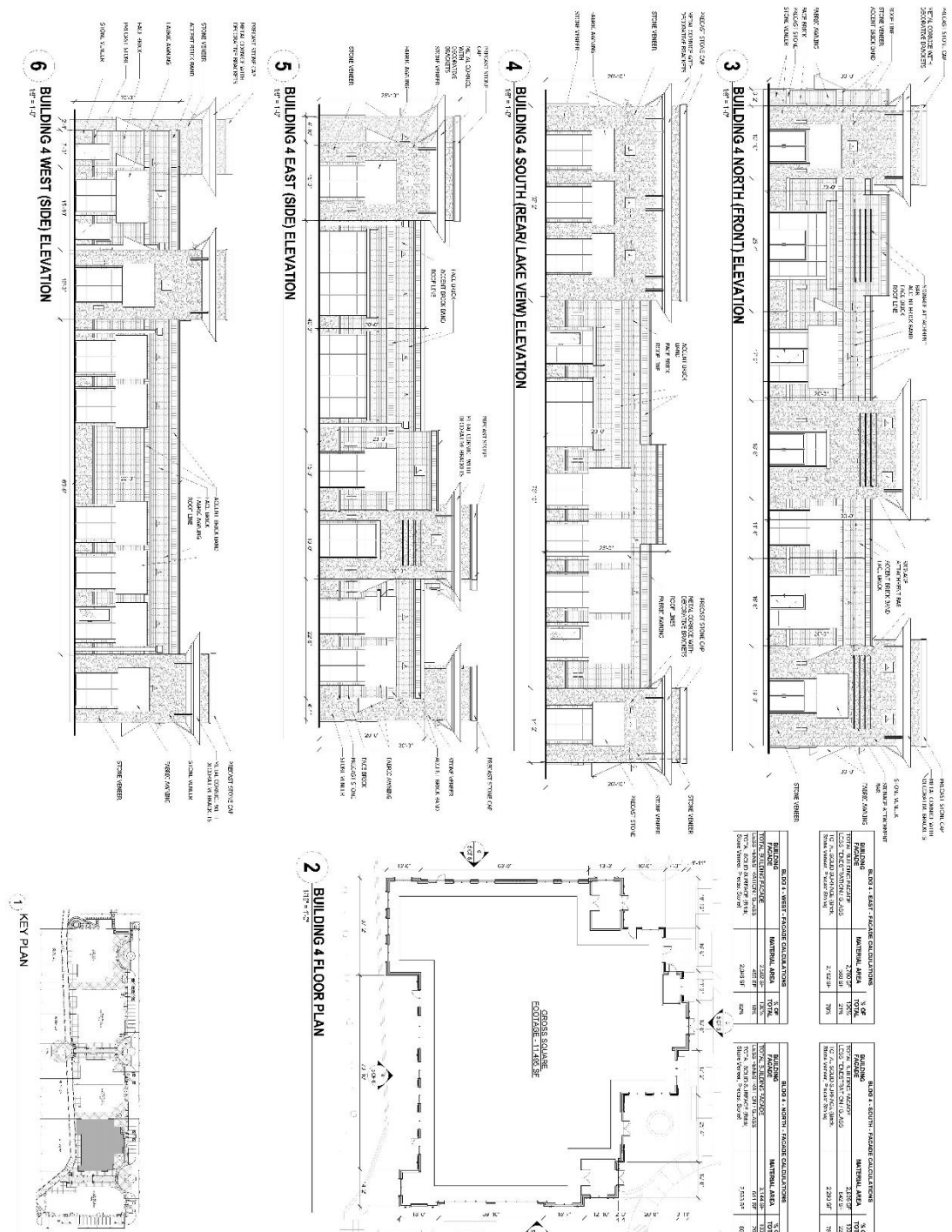
PHONE: 877-577-1010

Ordinance No. 3857

Exhibit "C" – Elevations (Building 1) (Outdoor Bar)



Ordinance No. 3857 Exhibit "C" – Elevations (Building 4)



BUILDING 4 - WEST ELEVATION CALCULATIONS				BUILDING 4 - NORTH (FRONT) ELEVATION CALCULATIONS			
AREA	PERCENTAGE	NET AREA	TOTAL	AREA	PERCENTAGE	NET AREA	TOTAL
GLASS	15.00%	1,125 SF	1,125 SF	GLASS	15.00%	1,125 SF	1,125 SF
WALL	45.00%	3,375 SF	4,500 SF	WALL	45.00%	3,375 SF	4,500 SF
FLOOR	20.00%	1,500 SF	3,000 SF	FLOOR	20.00%	1,500 SF	3,000 SF
ROOF	20.00%	1,500 SF	3,000 SF	ROOF	20.00%	1,500 SF	3,000 SF
TOTAL		7,500 SF	15,000 SF	TOTAL		7,500 SF	15,000 SF



Bush
ARCHITECTS

11000 WEST 10TH STREET, SUITE 100
DALLAS, TEXAS 75244
TEL: 214.343.8800
WWW.BUSHARCHITECTS.COM

MERCER BOARD WALK

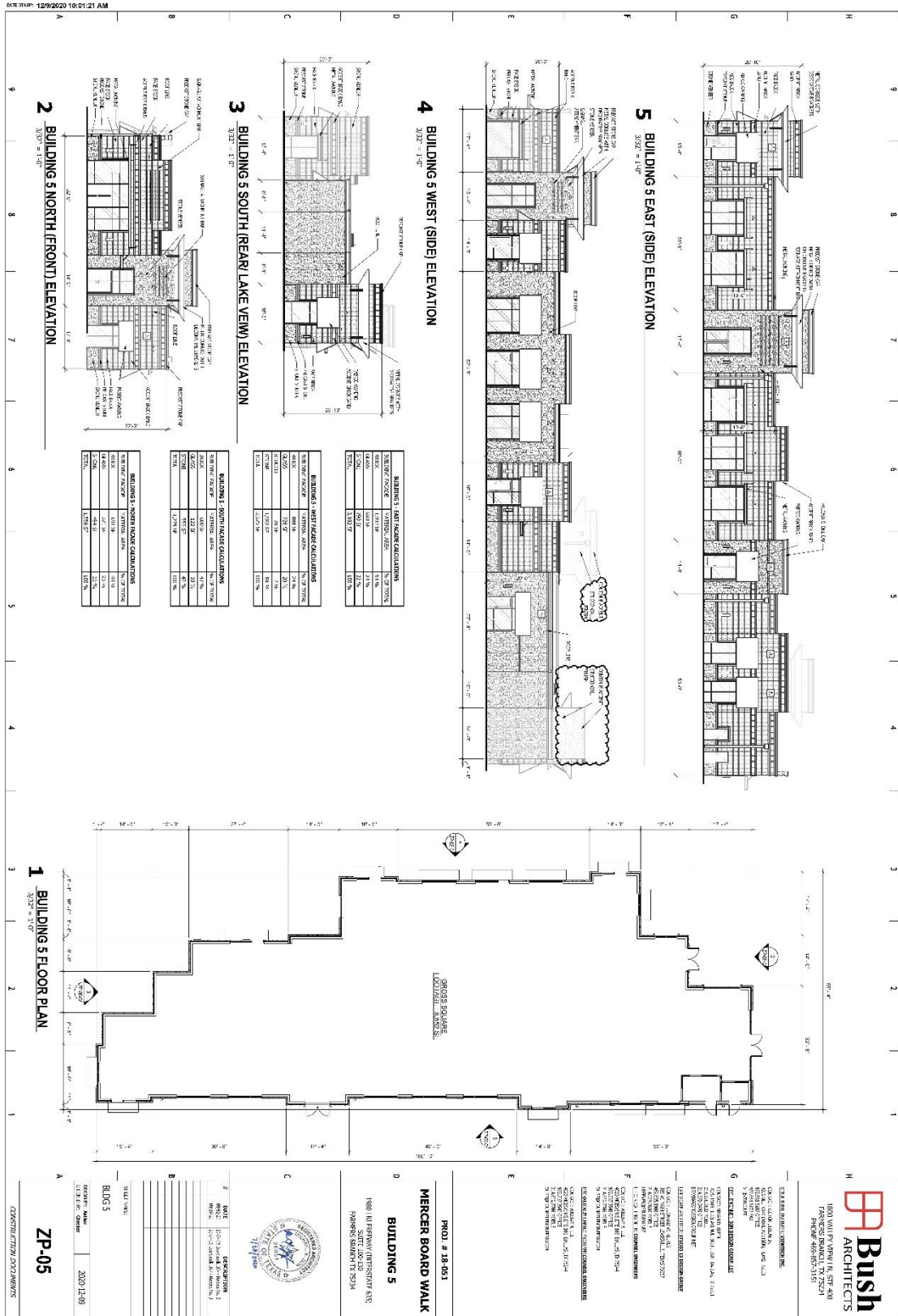
1-636 FARMERS BRANCH, TX. 75234

© COPYRIGHT, BUSH ARCHITECTS, LLC. - 2010

THIS DOCUMENT IS THE PROPERTY OF BUSH ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUSH ARCHITECTS, LLC.

PROJECT: MBW	SCALE: As Shown	DATE: 11.07.2018	SHEET: 5 OF 6
ISSUE LOG			
NO. 1	DATE	DESCRIPTION	

Ordinance No. 3857 Exhibit "C" – Elevations (Building 5)



Ordinance No. 3857 Exhibit "C" – Elevations (Building 6)

1 - (WEST) FRONT ELEVATION scale 1/4"=1'-0"

2 - (NORTH) SIDE ELEVATION scale 1/4"=1'-0"

MATERIAL BOARD

	AMERICAN BRICK COLOR IRONSPOT		ACME MODULAR BRICK COLOR AVENUE		BUNKERHILL COLOR FOREST GREEN		CHOPPED STONE COLOR AUSTIN GAVE		STRUCORE PANEL FACIA ORIGINAL WHITE		VITAL CANVAS COLOR TROPIC BLACK		BLACK ANODIZED ALUMINUM SIDING
--	----------------------------------	--	------------------------------------	--	-------------------------------------	--	------------------------------------	--	--	--	------------------------------------	--	-----------------------------------

MATERIAL CALCULATIONS

Material	East Elevation		West Elevation		North Elevation		South Elevation		Totals
	Area	%	Area	%	Area	%	Area	%	
3 Coat Stucco	408	42.15%	500	31.83%	0	0.00%	250	52.72%	1158
Aluminum Cladding	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Black Anodized Aluminum Siding	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Chopped Stone	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Fabric Finish	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Modular Brick	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Original White	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Tropic Black	10	1.04%	10	0.63%	0	0.00%	0	0.00%	20
Total Area	968	100.00%	1560	100.00%	0	0.00%	250	100.00%	1778

PROJECT NAME: FARMER'S BRANCH NEW GROUP-UP W/LL THRU BUILDING

PROJECT ADDRESS: FARMER'S BRANCH, TX

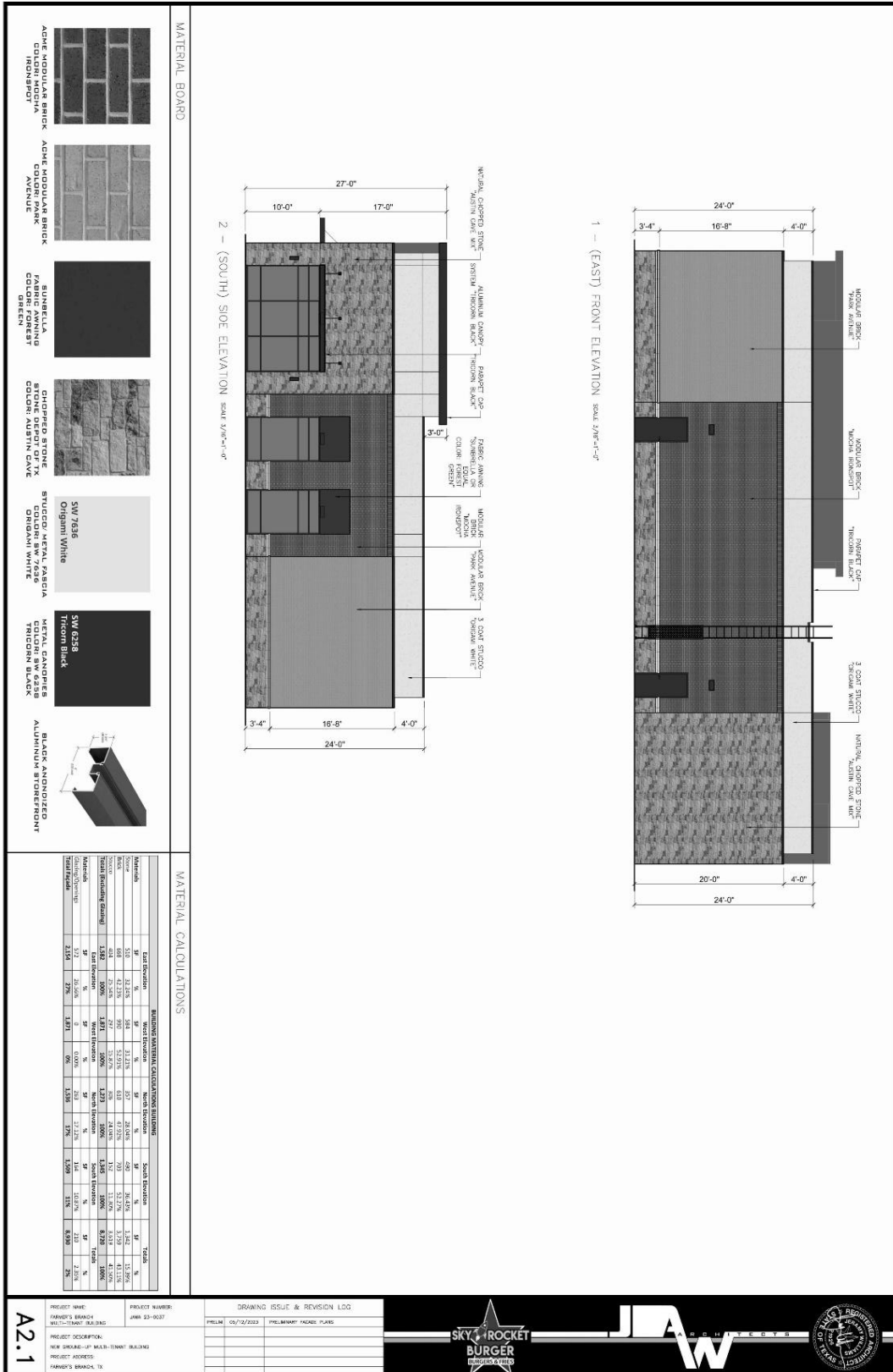
A2.0

PROJECT NUMBER: JAW 23-0037

DRAWING ISSUE & REVISION LOG:

DATE	DESCRIPTION
05/12/2023	PRELIMINARY FRAME PLANS

Ordinance No. 3857 Exhibit "C" – Elevations (Building 6)

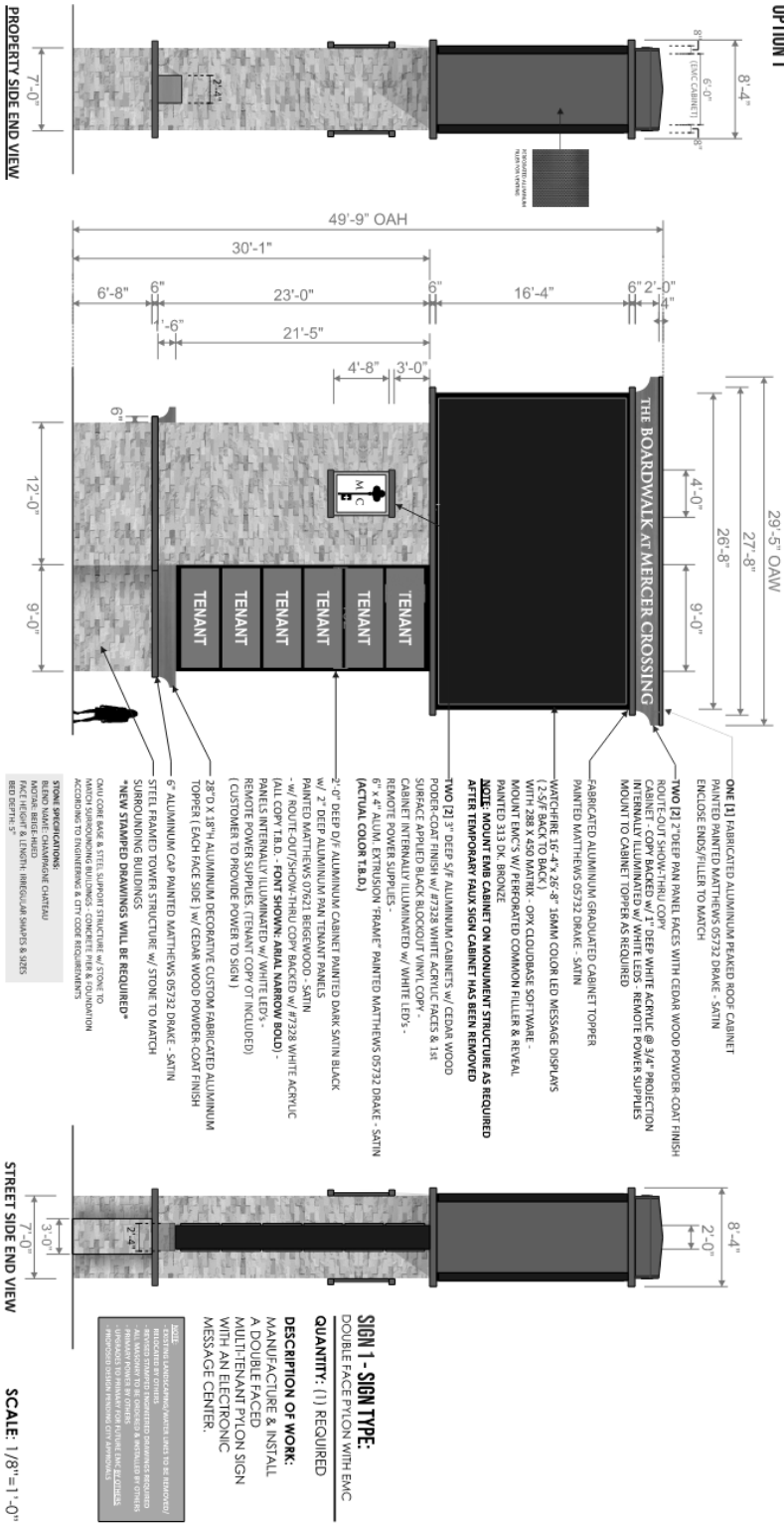


Ordinance No. 3857 Exhibit "D" – Signage

JOB #: CONCEPT ART

PAGE 4

OPTION 1



990 HALTOM RD., FORT WORTH, TX 76117
852-312-5338 — www.mello-signs.com

UL E479782 TDLR 18785

CLIENT SIGNATURE: _____
PRINTED NAME: _____
DATE: _____
SALESMAN INITIALS: _____

GENERAL DISCLAIMER: All signs to be manufactured and installed in accordance with local and state regulations. The drawing is the property of MELLO SIGNS. It shall not be produced, copied, or distributed without authorization of MELLO SIGNS. Color samples can be provided upon request. All PIP files are approximate representations. **PLEASE READ CAREFULLY BEFORE FINAL APPROVAL.** Review of files and check for all errors, other approvals and the start of manufacturing may incur additional charges. By signing this drawing you are acknowledging that you have read and fully reviewed all drawings, proposals, and specifications.

CLIENT NAME	DATE	BY	REV #
THE BOARDWALK AT MERCER CROSSING	19/01/2020	AS	R1
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		
19/01/2020	AS		

SIGN 1 - SIGN TYPE:
DOUBLE FACE Pylon WITH EMC
QUANTITY: (1) REQUIRED
DESCRIPTION OF WORK:
MANUFACTURE & INSTALL
A DOUBLE FACED
MULTI-TENANT Pylon SIGN
WITH AN ELECTRONIC
MESSAGE CENTER.

NOTE: THIS LAYOUTING WHITE SPACE TO BE REMOVED
RENDERED BY OTHERS
ALL MATERIALS TO BE MANUFACTURED BY OTHERS
PROVIDED POWER AND OTHERS FOR THE SIGN ELECTRONICS
PROVIDED OTHERS FOR THE SIGN ELECTRONICS
PROVIDED OTHERS FOR THE SIGN ELECTRONICS