



MERCER CROSSING



MERCER CROSSING MASTER DEVELOPER:



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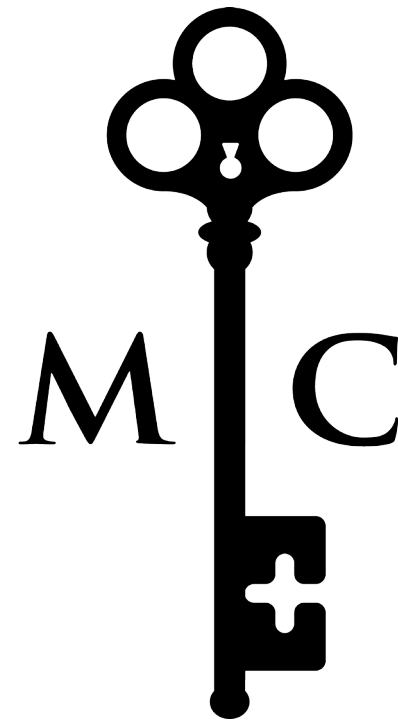
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## SECTION 1 INTRODUCTION

1.1 THEME AND CHARACTER

1.2 PURPOSE OF DESIGN  
GUIDELINES

1.3 ARCHITECTURAL REVIEW  
COMMITTEES





Texas Tudor is a contemporary application of historically inspired Tudor architectural elements which serve as a binding theme across Mercer Crossing, a several hundred acre master planned, mixed-use community. Key English Tudor visual elements consist of steep multi-gabled roof lines, slate and clay shingles accents, decorative half timbering and stucco, brick and stone facades, enhanced flat, eyebrow, arched and gothic accented portals, paned windows and elaborated stone and brick chimneys. Contemporary Texas style consist of multi-sloped metal and shingled roofs, metallic or wood window canopies, porches, windows with shutters; and brick, stone and stucco facades often with vertical or horizontal siding. Texas Tudor weaves these elements into the construction vernacular of Mercer Crossing through consistent application into the built environment (buildings, landscaping, screening and signage elements) while also accommodating the native Texas Materials available as part of the sustainable development movement.



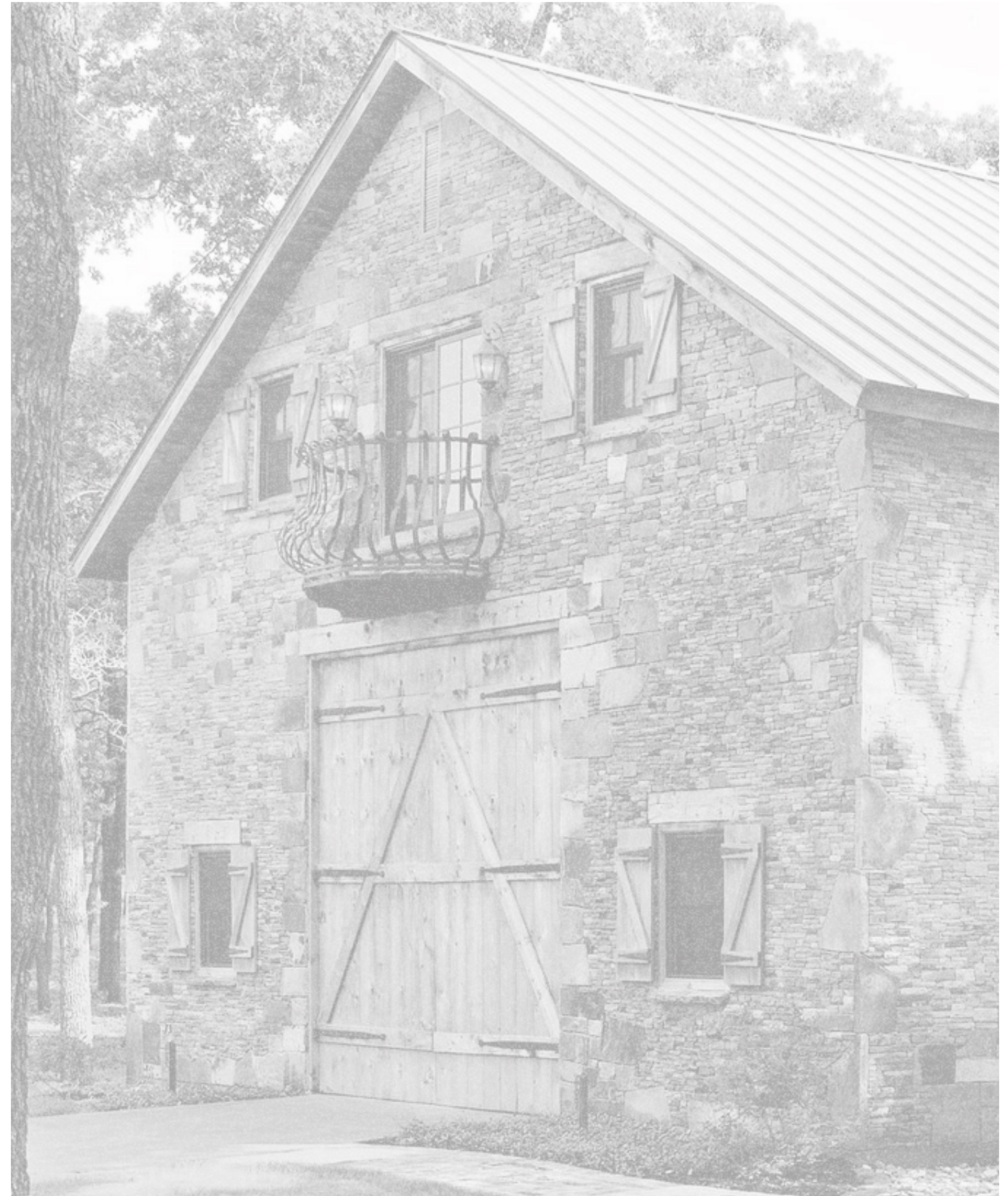
## 1.1 THEME AND CHARACTER



Mercer Crossing is master planned community that incorporates a compatible mix of uses, such as retail, office, commercial, and residential, integrated with open space areas and pedestrian networks for enhanced community interaction and enjoyment. The purpose of these design guidelines is to facilitate the growth and ensure the quality of character of Mercer Crossing by establishing design requirements and criteria to ensure that the development is centered around a cohesive design theme. These design guidelines will assist property owners, developers, home builders, architects, engineers, landscape architects, planners, and other consultants by providing the framework and the design intent of the community so that the theme and style are consistent throughout.

Design Guidelines are establish to provide a 'guide' to the look and feel of the community. This document is intended to provide a flexible framework that may need to be adjusted as needed in order to respond to variable market conditions or to evolve to other circumstances as this project is developed over a period of time.

Any guideline that is included herein is more strict than the approved PD Ordinance, the PD Ordinance shall control. The terms 'shall' or 'must' require compliance with the applicable regulations. The terms 'should', 'may' or 'encourage' indicate that the guideline is favorable but not required.



## 1.2 PURPOSE OF DESIGN GUIDELINES



### **Mercer Crossing Homeowner's Association**

There shall be one mandatory homeowner's association (HOA) for all the residential neighborhoods. The Mercer Crossing Homeowner's Association will be required to manage and maintain the common areas and common improvements within the residential areas of the community. The association's responsibility will be outlined in the filed CC&R's and shall at least include maintenance of entrance signs, screening walls, trails, and open spaces. Each neighborhood shall be represented in the HOA.

### **Mercer Crossing Property Owner's Association**

There shall be a mandatory property owner's association (POA) for the commercial areas within Mercer Crossing. The Mercer Crossing POA shall be required to manage and maintain the common areas and common improvements within the commercial areas. The association's responsibility will be outlined in the filed CC&R's and shall at least include maintenance of ground signs, screening walls, trails, and open spaces. Each commercial area shall be represented in the POA.

Mercer Crossing shall have two separate Architectural Review Committee's (ARC). One ARC shall be responsible for the oversight and review of residential development within the residential areas of Mercer Crossing and the other ARC shall be responsible for the oversight and review of the commercial development of the commercial areas of Mercer Crossing.

### **Mercer Crossing Residential ARC**

This committee shall be established by the Mercer Crossing Homeowner's Association as described in the Conditions, Covenants, and Restrictions (CC&R's) filed in the Real Property Records of Dallas County. The purpose, administration and responsibilities of this committee will be described in detail in the CC&R's. The purpose of the Mercer Crossing Residential ARC shall include the following:

- To ensure the Design Guidelines are being followed.
- To encourage the high-quality construction of homes.
- To oversee, review, and approve the exterior elevations and building materials consistent with the Design Guidelines.
- To preserve the common community areas and features within the Residential Areas.

### **Mercer Crossing Commercial ARC**

This committee shall be established by the Mercer Crossing Property Owner's Association as described in the Conditions, Covenants, and Restriction (CC&R's) file in the Real Property Records of Dallas County. The purpose, administration, and responsibilities of this committee will be described in the detail in the CC&R's. The purpose of the Mercer Crossing Commercial ARC shall include the following:

- To ensure the Design Guidelines are being followed as each commercial development is proposed.
- To encourage the construction of high-quality improvements within the Commercial Areas.
- To oversee, review, and approve building elevations, building materials, and site improvements consistent with the Design Guidelines.
- To preserve the common areas and features within the Commercial Areas.



## **1.3 OWNER'S ASSOCIATIONS AND ARC**





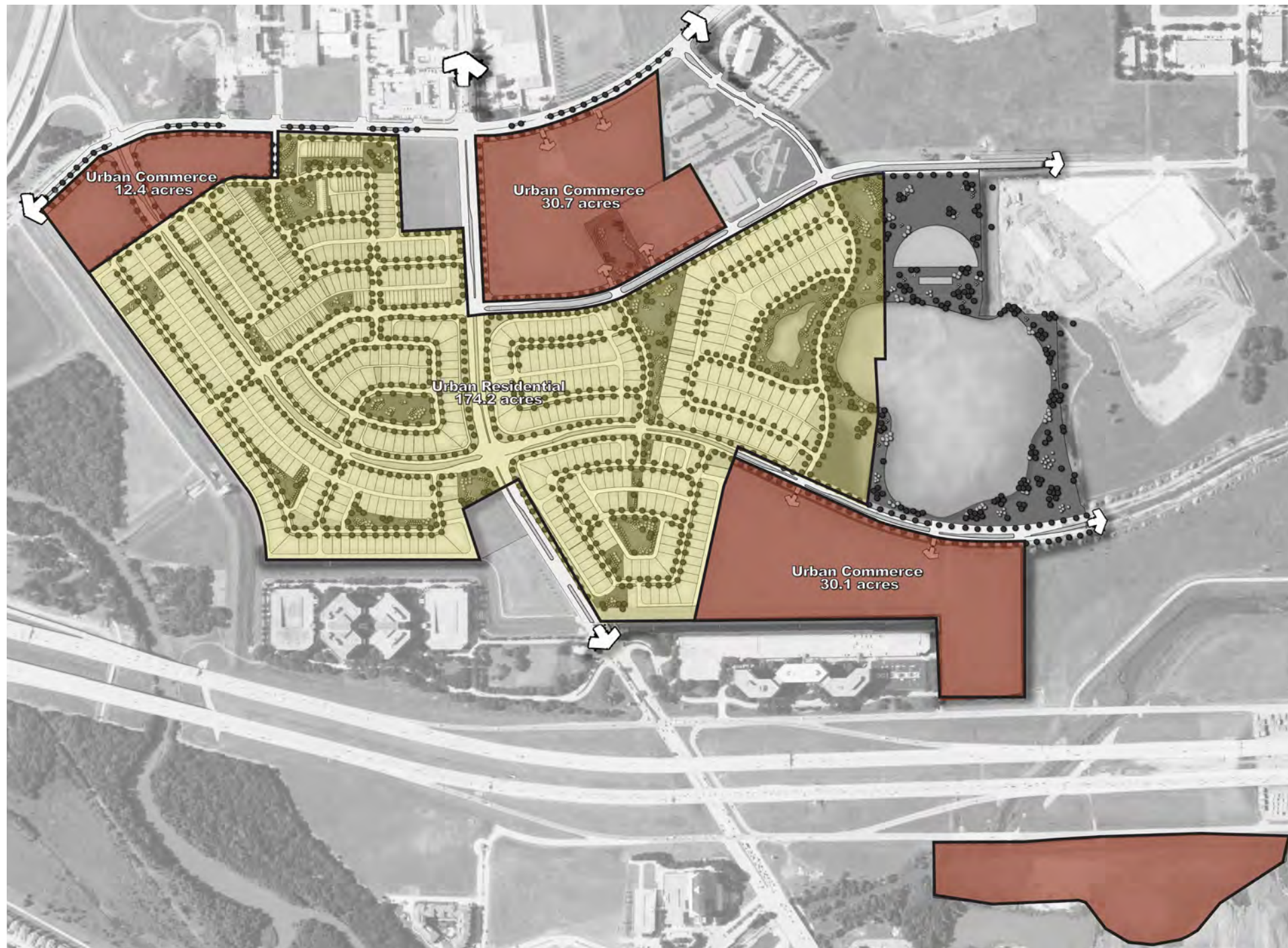
## SECTION 2 LAND USE

2.1 DEVELOPMENT DISTRICTS

2.2 SUBAREAS

2.3 LAND USE PLAN



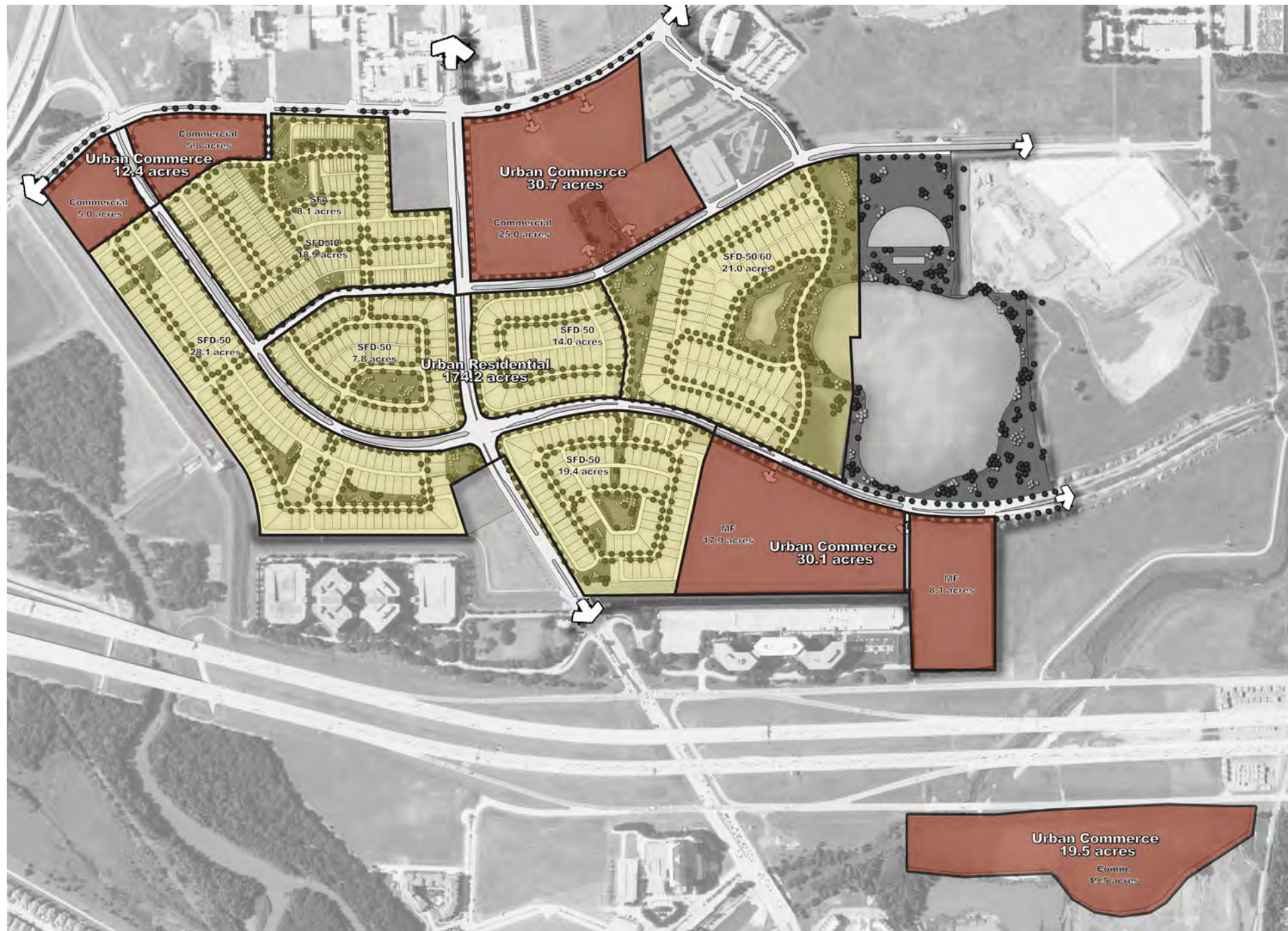


The development districts for Mercer Crossing are the Urban Commerce District and the Urban Residential District, each of which is composed of subareas that delineate different land uses or specific residential categories. The different districts and subareas ensure the harmonious transition between land use categories, resulting in a collection of distinct pods that form a unique and unified whole.



## 2.1 DEVELOPMENT DISTRICTS





### Urban Commerce

The Urban Commerce District contains approximately 92.7 acres of land in the Mercer Crossing development. The intent for this district is to allow the development of small, single-lot, one-story, single-purpose commercial uses, as well as larger shopping centers, retail power centers, mixed-use buildings, corporate offices, and high-density multi-family residential. Subareas include Commerce and Multi-Family Residential.

- **Commerce Subarea:**

Typical uses in the Commerce Subarea may include (but are not limited to) Business Service, Office, Personal Service, Retail Service, Retail Specialty, Retail Trade, Studio Uses, Commercial Indoor Amusement, Restaurants, and Coffee Shops. Primary or Secondary Schools are permitted, as are Colleges or Universities. This subarea should be located near thoroughfares and intersections to improve visibility for tenants.

- **Multi-Family Residential Subarea:**

Uses may include High-Density Multi-Family Residential, with or without ground floor commercial uses, or Senior/Assisted Living Facilities.

### Urban Residential

The Urban Residential District contains approximately 174.2 acres of land in the Mercer Crossing development. The intent of this district is to provide a variety of residential lot types that can serve individuals and families at all stages of life. Subareas include Single-Family Detached (SFD) Residential, and Single-Family Attached (SFA) Residential.

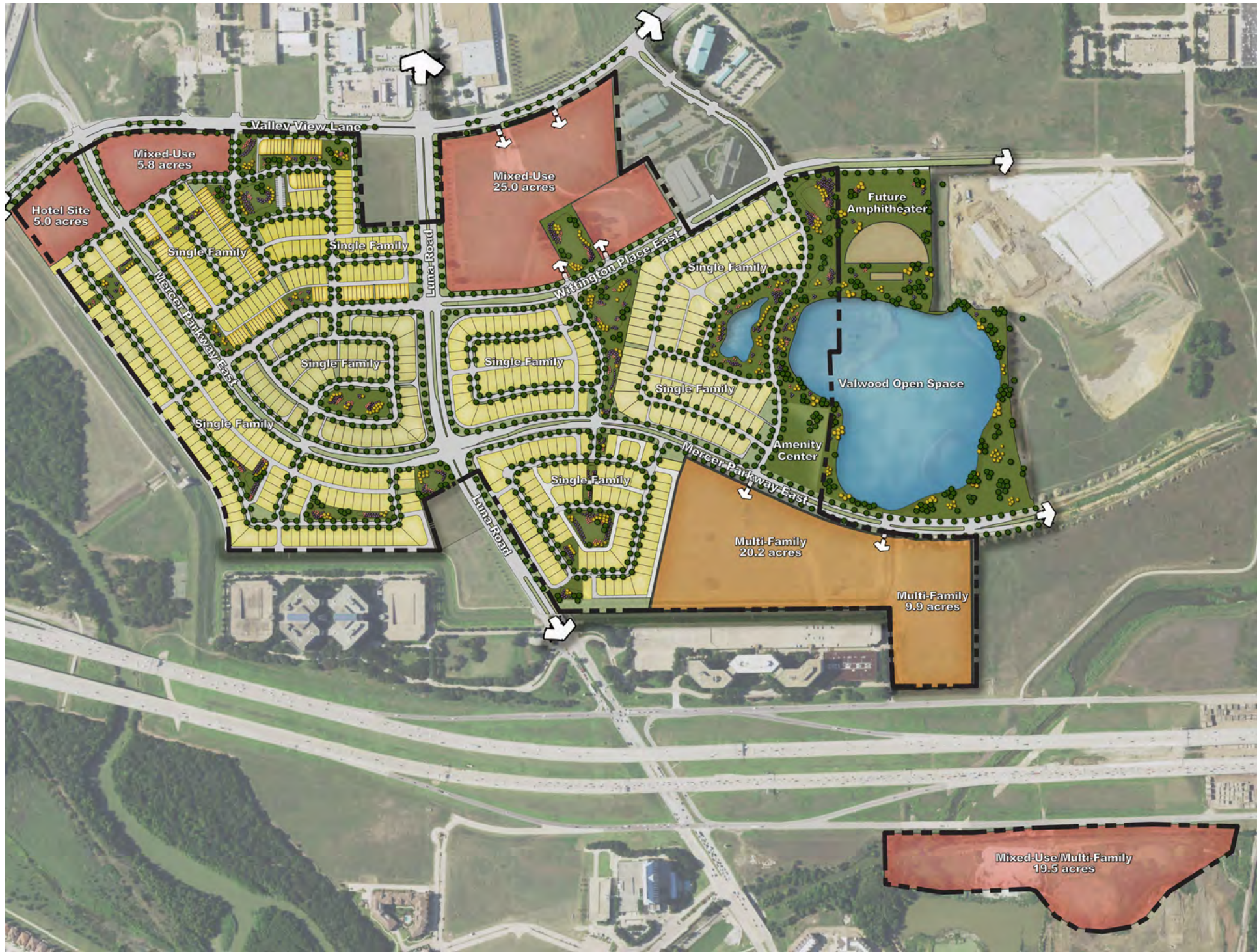
- **Single-Family Detached Subarea:**

The Single-Family Detached Subarea features residential lots at 40-, 50-, and 60-foot widths. Each neighborhood will be mostly comprised of a certain lot type, although all should adhere to the same Texas Tudor look and feel.

- **Single-Family Attached Subarea:**

The Single-Family Attached Subarea consists of townhomes, and is located near the Urban Commerce District. The townhomes serve as a higher-density residential use, providing a harmonious transition from commercial to lower-density residential uses.





The land use plan for Mercer Crossing is a visual illustration of the proposed districts. The districts are proposed as shown in order to provide for a balanced and sustainable mix of land uses, which comes from a compatible mixture of residential and commerce uses in close proximity to each other.

Land Uses	Acres	%	
Commerce / Hotel	45.3	17	
Multi-Family (tract 1 north of 635)	26	13.5	Not to exceed 1250 units
Multi-Family (tract 2 south of 635)	10		Not to exceed 500 units
Single Family	117.3	44	
Attached	8.1		Not to exceed 111 lots
Detached	109.2		
60 ft wide lots	17.6		Not to exceed 73 lots
50 ft wide lots	71.2		Not to exceed 323 lots
40 ft wide lots	18.9		Not to exceed 100 lots
School (potential site)	8.6	3.2	
Parks / Open Space	26.8	10	
Street ROW and miscellaneous	32.9	12.3	
TOTAL	266.9	100	

Development Districts	Acres	%
Urban Commerce	92.7	34.7
Urban Residential	174.2	65.3
TOTAL	266.9	100







## SECTION 3 STREETS & SITE AMENITIES

3.1 STREET CLASSIFICATION

3.3 ENHANCED PAVEMENT &  
CROSSWALKS

3.3 LIGHTING

3.4 SEATING

3.5 BOLLARDS & PLANTERS

3.6 TRASH RECEPTACLES

3.7 BIKE RACKS & PET WASTE

3.8 SHADE STRUCTURES

3.9 AMENITY CENTER



The streets in Mercer Crossing will serve a wide variety of traffic patterns – from divided arterials to quiet residential streets. There are three main street classifications within Mercer Crossing: Major Streets, Minor Streets, and Alleys.

Major Streets include any street section with a right-of-way width of 80 feet or greater. These streets are intended to carry the majority of the through traffic, and should provide connectivity to Valley View Lane and I 635. Major streets should have street trees planted within the parkway with a spacing of no more than twenty-five feet on center. For major streets with on-street parking, one street tree shall be planted in each bump-out for parking.

Minor Streets will provide connectivity within residential areas and from residential areas to major streets. These streets should have fairly low traffic and encourage an active pedestrian street life and community feel. Minor streets should have street trees planted within the parkway with a spacing of no greater than thirty-five feet on center. For both major streets and minor streets, street trees shall be at least three inches in caliper measured four feet above grade, and not less than ten feet in height measured from the base of the main trunk at the time of planting.

Alleys are located in residential neighborhoods to provide access to rear-loading garages. These streets are meant to provide access to residential lots; they should not be used for through traffic. No street trees are required for this street section.

- Major Street > 100 ft ROW
- Major Street 80 ft ROW
- Minor Street
- Alley



### 3.1 STREET CLASSIFICATION





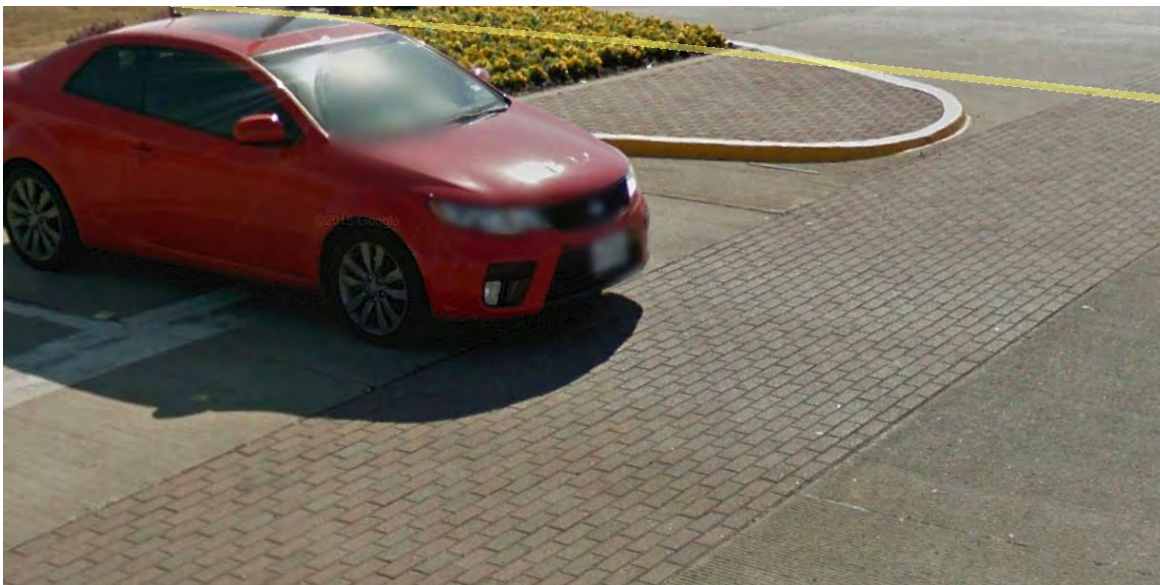
This is a great example of an approved ADA crosswalk using stamped and stained concrete.



The combination of sloped corner curbs and bollards may be incorporated with crosswalks within the commercial areas.

Enhanced pavement must be used at major intersections within the Mercer Crossing development. Decorative brick or stone elements shall be used to create a visual distinction between vehicular and pedestrian traffic. This creates a human scale that gives a sense of security when crossing a busy street, and notifies motorists to reduce their speed. All materials must follow ADA requirements and provide safe passage for all pedestrian traffic.

The use of bollards and other pedestrian-friendly enhancements may also be used at intersections and in the commercial areas. All bollards will adhere to the materials chosen in the site amenities section.



The above brick patterned crosswalk is what is in current use along Luna. All crosswalks within the Mercer Development must match this paving pattern and color.



This ideal enhanced crosswalk gives the street a human scale and provides a sophisticated urban feel.



## 3.2 ENHANCED PAVEMENT & CROSSWALKS





Above is a boardwalk in England with ornate lamp post made of cast iron and painted black. Although too ornate for Mercer Crossing, the materials are a great example.



This example is still in the English setting, but closer to the intended look for Mercer Crossing.



This modern day example is made to look like those in England. Night sky fittings are also an option.

While site amenities are among the simplest enhancements to a development, they can go a long way towards conveying a specific design theme. Site amenities in Mercer Crossing should be attractive, durable, and practical, as well as contributing to the overall Texas Tudor theme. All site amenities shall be cohesive and consistent in using all black metal, taking into account longterm maintenance.

The lighting in Mercer Crossing shall reinforce the Texas Tudor theme. Street lamps in residential, commercial, and open space areas should be inspired by vintage gas lamps, with varying degrees of ornamentation being acceptable. Traditional English lamp post were made of cast iron with a black finish. All lighting shall be made of similar materials with the same look.

Streetlights in the Urban Commerce districts may feature Mercer Crossing banners on the lamppost. Other enhancements, such as additional base ornamentation or planters attached to the base, may be acceptable. In addition, streets lights must be located within the parkway of the right-of-way in all districts.

All lighting in residential areas shall adhere to “dark skies” ordinances to prevent light pollution and reduce nuisance to residents. Homeowners shall also install porch lights; those visible from the rights-of-way should also be inspired by vintage gas lamps.

In commercial areas, all lighting design standards must comply with City ordinances, as well as the approved PD zoning ordinance. In addition to streets lamps, all other commercial lighting should reinforce the Texas Tudor theme by maintaining a subtle, natural appearance, without sacrificing safety.



On the streets of England bollards are also made of cast iron and painted black.



The center and right images are two examples of bollard lighting that would also mimic the intended Texas Tudor theme.







This English park provides sufficient seating along the shown path. All open space areas with in Mercer Crossing shall provide adequate seating.



Typical English benches are very ornate in nature, constructed of cast iron or metal substitute, and have a black finish.

Outdoor public seating areas in Mercer Crossing should reinforce the unified design theme. Benches should be inspired by Texas Tudor precedents, and may be constructed of cast iron, metal, or any combination thereof. All seating areas should be strategically placed in the Urban Commerce districts as well as the parks and open space areas throughout Mercer Crossing.

In addition to serving as a resting place, benches and seating areas encourage pedestrian activity and community interaction by providing a place for neighbors to gather, a spot to sit and people-watch, or a place to enjoy nature. An adequate number of seating must be provided in all urban commerce districts, around children's play equipment, and along recreational trails.



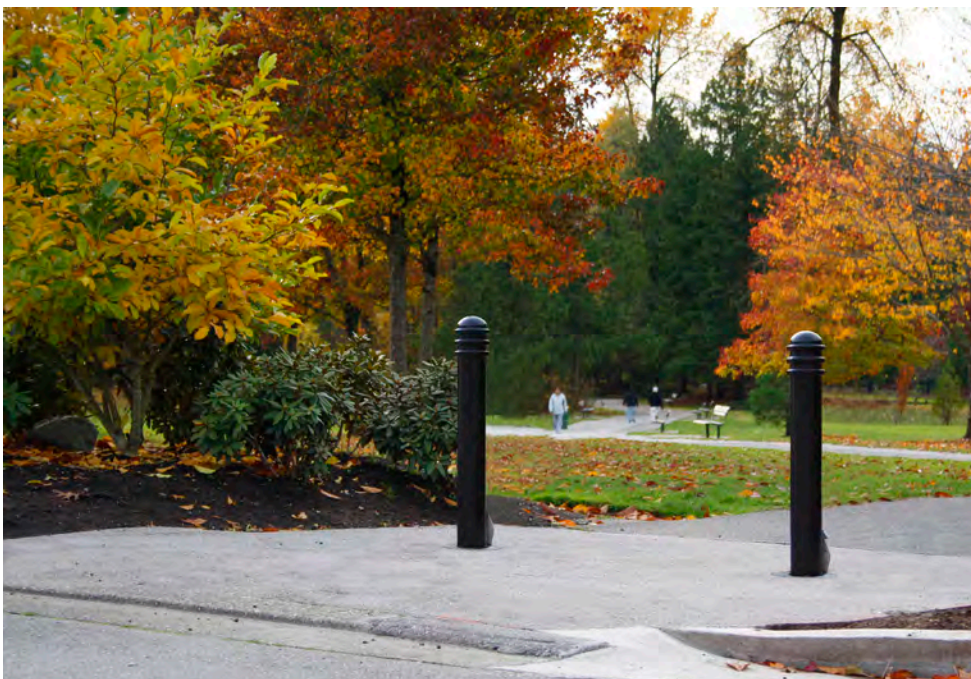
Above is a prime example of a Texas Tudor bench. It's black finish and leg detailing set the standard for Mercer Crossing.



This is another great example of an acceptable bench selection.







Bollards at trail intersections not only discourage cars from utilizing trails, but also provide pedestrian safety in the event and accident occurs at this location.



These are two examples of bollard types that should be used within Mercer Crossing.



The use of bollards is encouraged at the intersections of pedestrian trails or walkways and streets. Bollards should be placed appropriately to protect pedestrians, while still allowing sufficient spacing for strollers, bicyclists, and for all ADA accessibility standards. Bollard design shall adhere to the Texas Tudor theme by sticking with black finish and cast iron or equivalent material. Height may be dependent on the context of the location, with varying heights being acceptable in different places.

Planter boxes are also encouraged in the Urban Commerce area, and may feature trees, flowers or groundcovers, shrubbery, or any combination thereof. In order to compliment the Texas Tudor theme planters shall be black in color, and should be complementary in material to all other site furnishings. Planters may be located at regular intervals to break up the appearance of continuous pavement, demarcate paths, and beautify pedestrian corridors. Additional options include (but are not limited to) placing planters on either side of building entrances, creating a garden-like feel for an outdoor patio, and commercial screening.



This English setting incorporated landscape planters in addition to bollards. Planter bollards control pedestrian traffic while separating vehicular traffic.



The above planters are an acceptable example for the Mercer Crossing development.



## 3.5 BOLLARDS AND PLANTERS





This classic black receptacle is an ideal design for the Mercer Crossing development.



Lids as show above shall be placed on all trash and recycling receptacles to prevent rainfall from entering.

Trash receptacles should be placed regularly throughout the Urban Commerce districts as well as the open space areas. As with all other site amenities, trash receptacles should reinforce the Texas Tudor design theme; however, trash receptacles should be as inconspicuous as possible while still being visible enough to prevent littering. Trash receptacles should be within an arm's reach of a sidewalk or trail, but shall be located so as not to obstruct the natural flow of traffic.

Recycling receptacles are not required for Mercer Crossing, but are highly encouraged.



Although recycling is not required, it is highly encouraged. The lids shown are required on all provided receptacles.



If recycling receptacles are provided, then this double fixture is an ideal solution. All receptacles must be black in color and be fitted with a lid.





As with all other site furnishing the bike racks shall be black in color. The architectural detail in the example above reinforces the Texas Tudor theme.



The above pet waste station or comparable substitution shall be spaced periodically throughout the development. Any site furnishing shall be in a black color finish.

Bike racks shall be installed at strategic points in open space and Urban Commerce districts. Racks shall be placed near trail-heads and at logical destination points, such as retail areas or water features. Bikes are encouraged as an alternative to cars, which in turn encourages interaction between the residents of Mercer Crossing. Any proposed bike racks shall adhere to the Texas Tudor theme and should be constructed of steel or another ornamental metal to prevent theft.

Pet waste stations may be placed in open space areas, preferably adjacent to trash receptacles. These stations should be spaced frequently to strongly incentivize pet owners to utilize this amenity as often as necessary. Leaving pet waste in open space areas or on trails and sidewalks should be strongly discouraged through signage. Pet waste bags should be stocked frequently enough to prevent running out of bags. Like trash receptacles, pet waste stations should be inconspicuous, practical, and should not detract from the Texas Tudor design theme.





The wooden beams of the above arbor imitate the half timbering used throughout England. This method of support shall be applied to all applicable shade structures.



The stone work above is a great example of the desired Texas Tudor look.



This is another example of imitating the half timbering detail. As with this case, metal may be used to achieve the Texas Tudor theme.



The combination of stone columns and wooden beams is a true Texas look. With the addition of half timbering support this would be the most ideal option of shade structure.

Shade structures are an integral part of public open space. They can function as gathering places for the community, provide respite from the Texas summers, and serve as aesthetically pleasing improvements to open space. Shade structures in Mercer Crossing may include (but are not limited to): pergolas, arbors, gazebos, pavilions, and covered porches. These shade structures may or may not feature amenities such as grills, picnic areas, and enhanced landscape. The design of these structures should reflect the Texas Tudor theme and enhance the visual appearance of open space lots. Elements such as stone columns, wooden support beams, and natural-looking roofs reminiscent of rural English cottages are encouraged.





### 3.9 AMENITY CENTER





## SECTION 4 SIGNAGE

4.1 SIGN  
LOCATIONS

4.2 GROUND SIGNS

4.3 COMMERCIAL BUILDING  
SIGNS





Ground signage within Mercer Crossing shall be consistent and compatible with the overall theme for the project. The location of ground signs for Mercer Crossing shall be located in the general areas as indicated on the Ground Sign Locations Map. The different types of ground signs are community monumentation, commercial and residential. Community monumentation signs are to identify the Mercer Crossing community. Commercial Ground Signs will identify the different commercial tenants and retail centers along major streets. The Residential Ground Signs will distinguish the different neighborhoods at street entrances.

There a total of five categories of ground signs within Mercer Crossing. This section includes a list of those categories with a description of the sign purpose and requirements.

### Type

- 1** Large Community Monumentation
- 2** Commercial Tower/Pylons
- 3** Small Community Monumentation
- 4** Commercial Ground signs
- 5** Neighborhood Entrance Signs





### Purpose

This type of sign will be located along Interstate 635 to identify the overall development. This will promote visibility and provide an identity along the highway to passing motorists. It will give Mercer Crossing a distinct presence along the highway.

### Requirements

- The developer may choose to do a tall tower sign or a lower ground sign.
- If a tower sign is proposed, it must be a tower feature consisting of same architectural style of the development and not exceeding 70' in height.
- If a lower ground sign is proposed, it shall also consist of the same architectural style of the development.
- Either sign type shall only be used to identify Mercer Crossing and may not be used as a commerce sign to promote a business.
- The sign shall be maintained by the Property Owner's Association.



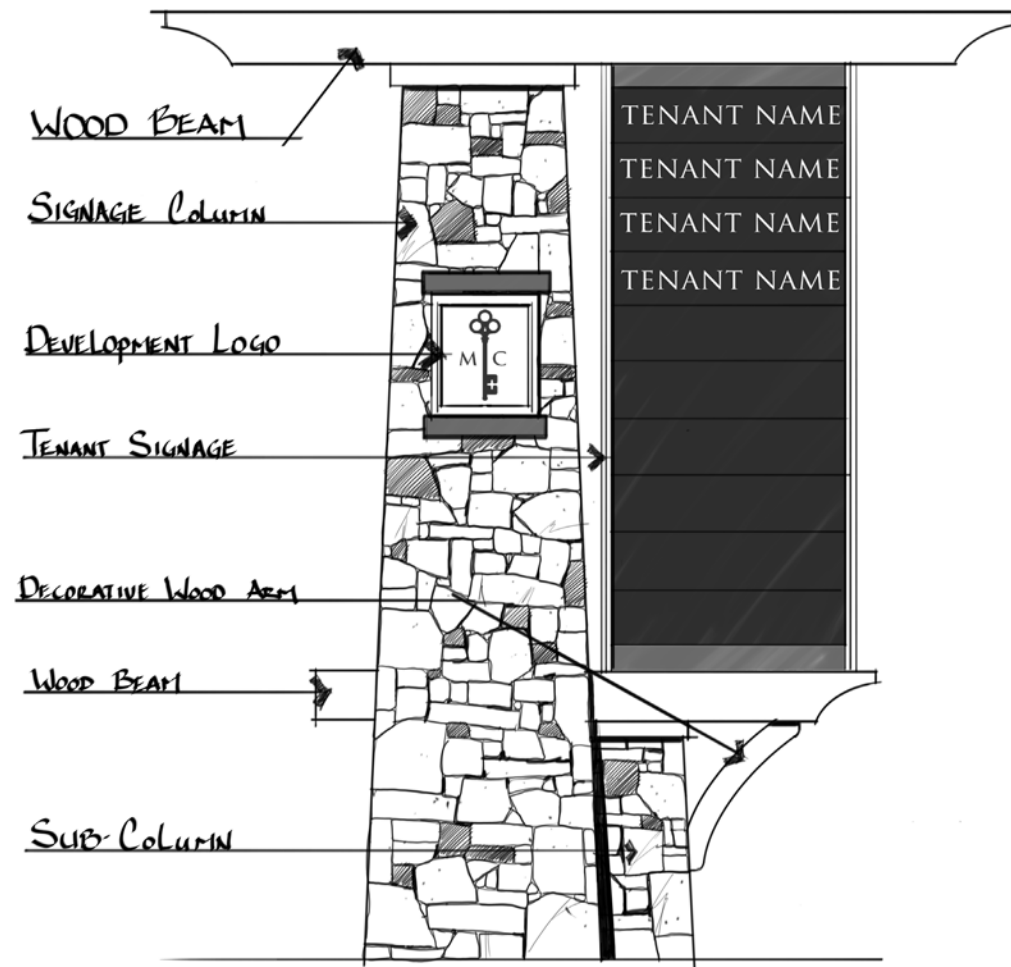
This inspirational photo and sketch are to serve as merely an idea, and may be interpreted to fit the specific needs for Mercer Crossing.



## 4.2 GROUND SIGNS

### TYPE 1: LARGE COMMUNITY MONUMENTATION





### Purpose

These types of signs shall be used to identify the commercial/retail centers of the community along Valley View Lane and Interstate 635 to passing motorists in order to promote business and create a distinct commercial or shopping district.

### Requirements

- The signs shall be a tower feature or pylon structure with similar materials that are complimentary to the community theme. Architectural elements, such as a roof element, may be used to reinforce the design theme.
- The signs shall be used for multi-tenant identification of the businesses within the commercial areas.
- The multi-tenant panels shall be white text/business logos and a black background. They shall be internally illuminated.
- Enhanced landscaping is required surrounding the sign structure.
- Each commercial area as shown on the Land Use Plan shall be allowed one tower/pylon sign.
- The maximum sign height shall be 40'.
- The signs may include the name of the shopping center. For example, The Shoppes at Mercer Crossing.
- The sign shall be maintained by the Property Owner's Association.



## 4.2 GROUND SIGNS

### TYPE 2: COMMERCIAL TOWER/PYLON SIGNS





### Purpose

These types of signs will be used to identify Mercer Crossing at thoroughfare intersections. These signs will enhance the project identity along adjacent roadways so reinforce the community theme and create a distinct district.

### Requirements

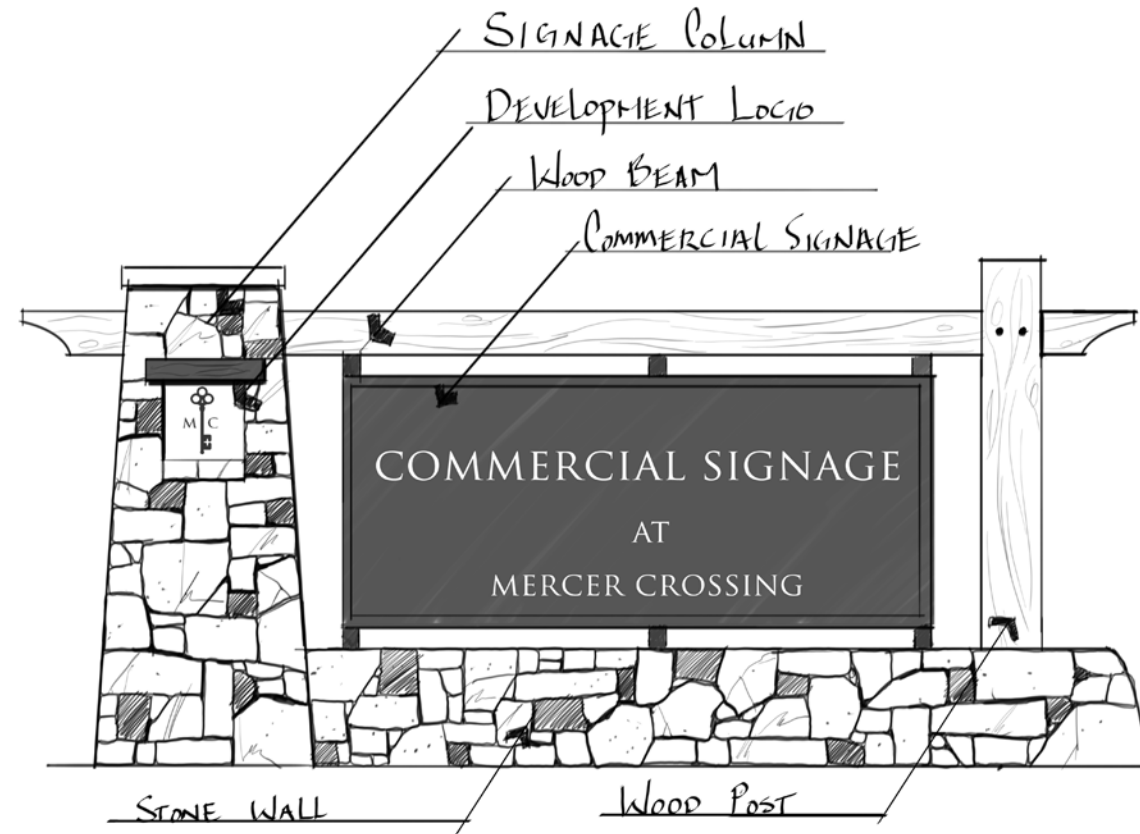
- These signs shall be free standing and not constructed within or part of a screening wall.
- The sign materials shall be consistent with the overall community theme and shall compliment the project.
- Enhanced landscaping surrounding the signs is encouraged to bolster the community theme.
- The sign shall be maintained by the Property Owner's Association.
- Either sign type shall only be used to identify Mercer Crossing and may not be used as a commerce sign to promote a business.



## 4.2 GROUND SIGNS

### TYPE 3: SMALL COMMUNITY MONUMENTATION





### Purpose

These types of signs may be used in addition to the Commercial Tower/Pylon Signs within the commercial areas to identify additional businesses and restaurants that are not included in the Commercial Tower/Pylon Signs. These signs will help motorists navigate to their destinations and establish a presence along the collector thoroughfares which is vital to the success of retail and restaurant businesses.

### Requirements

- The signs may be as multi-tenant or to identify individual businesses.
- These signs shall use the same material as the tower/pylon signs to reinforce the sense of a distinct retail district.
- The sign panels shall include the business names or logo in white with a black background.
- The signs may be internally or externally illuminated.
- The maximum height shall be 10'.
- The signs may include the name of the shopping center. For example, The Shoppes at Mercer Crossing.
- Multi-tenant ground signs shall be maintained by the Property Owner's Association.



## 4.2 GROUND SIGNS

### TYPE 4: COMMERCIAL GROUND SIGNS

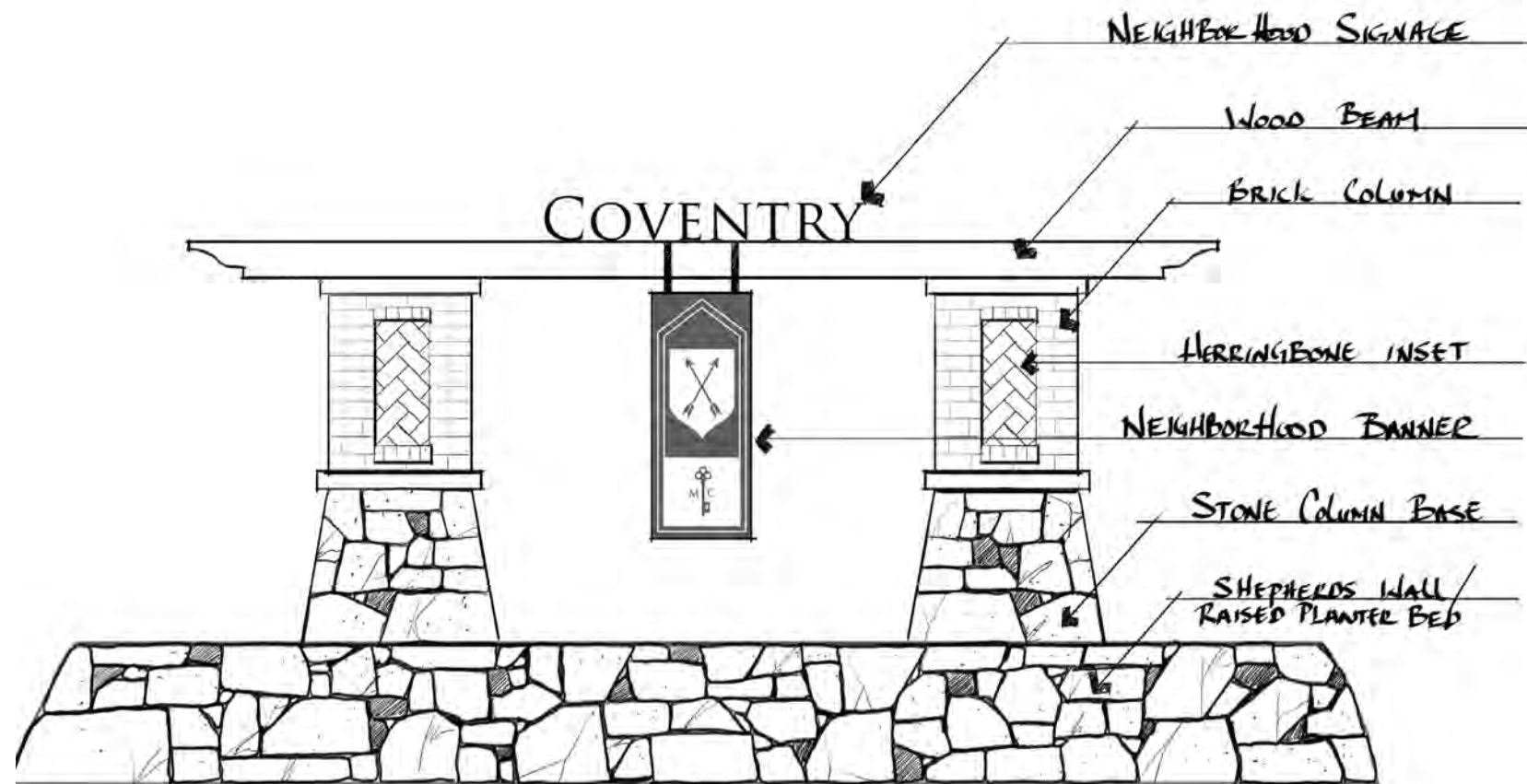
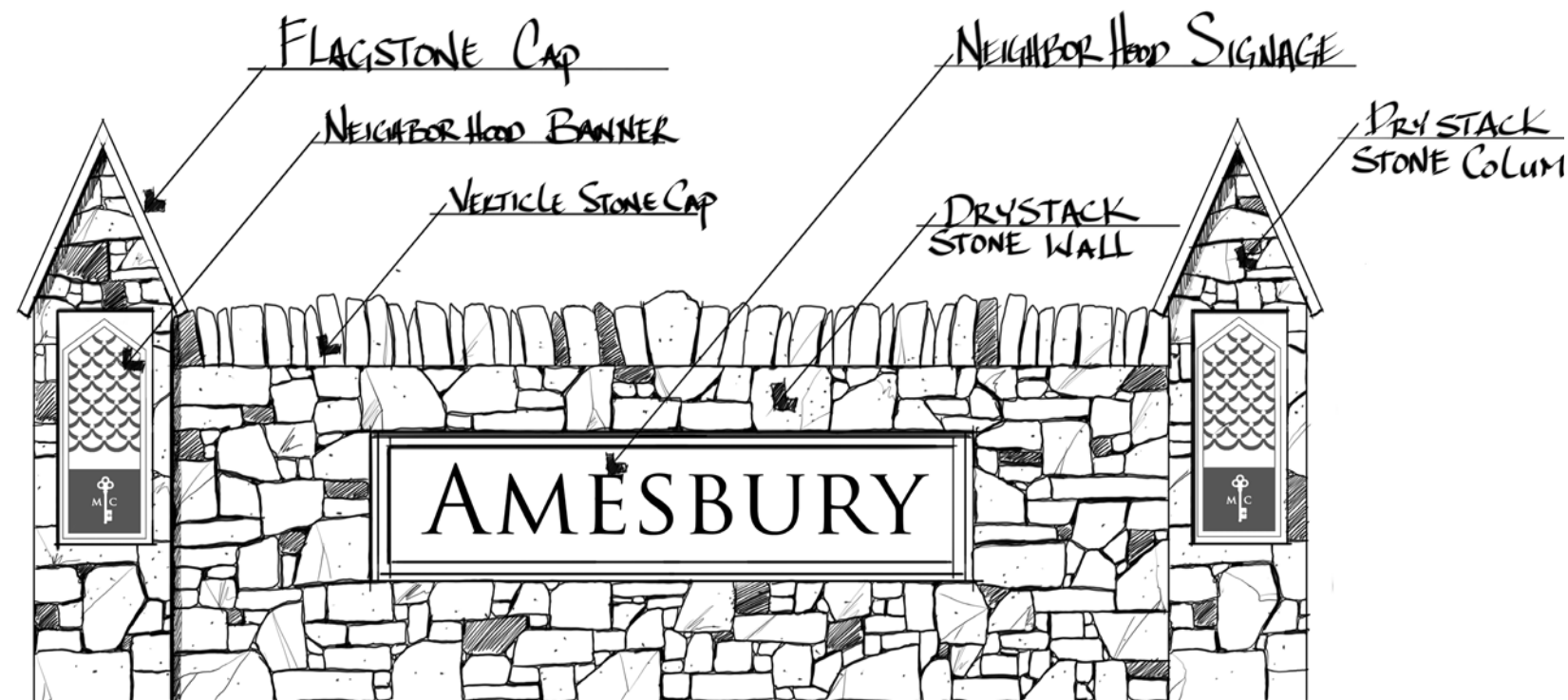


### Purpose

These types of signs shall be used to identify each neighborhood to reinforce the sense of community. Each neighborhood will be clearly identifiable from the collector streets for easier navigation. While each neighborhood is part of the larger cohesive development, they are also maintaining a distinct identity.

### Requirements

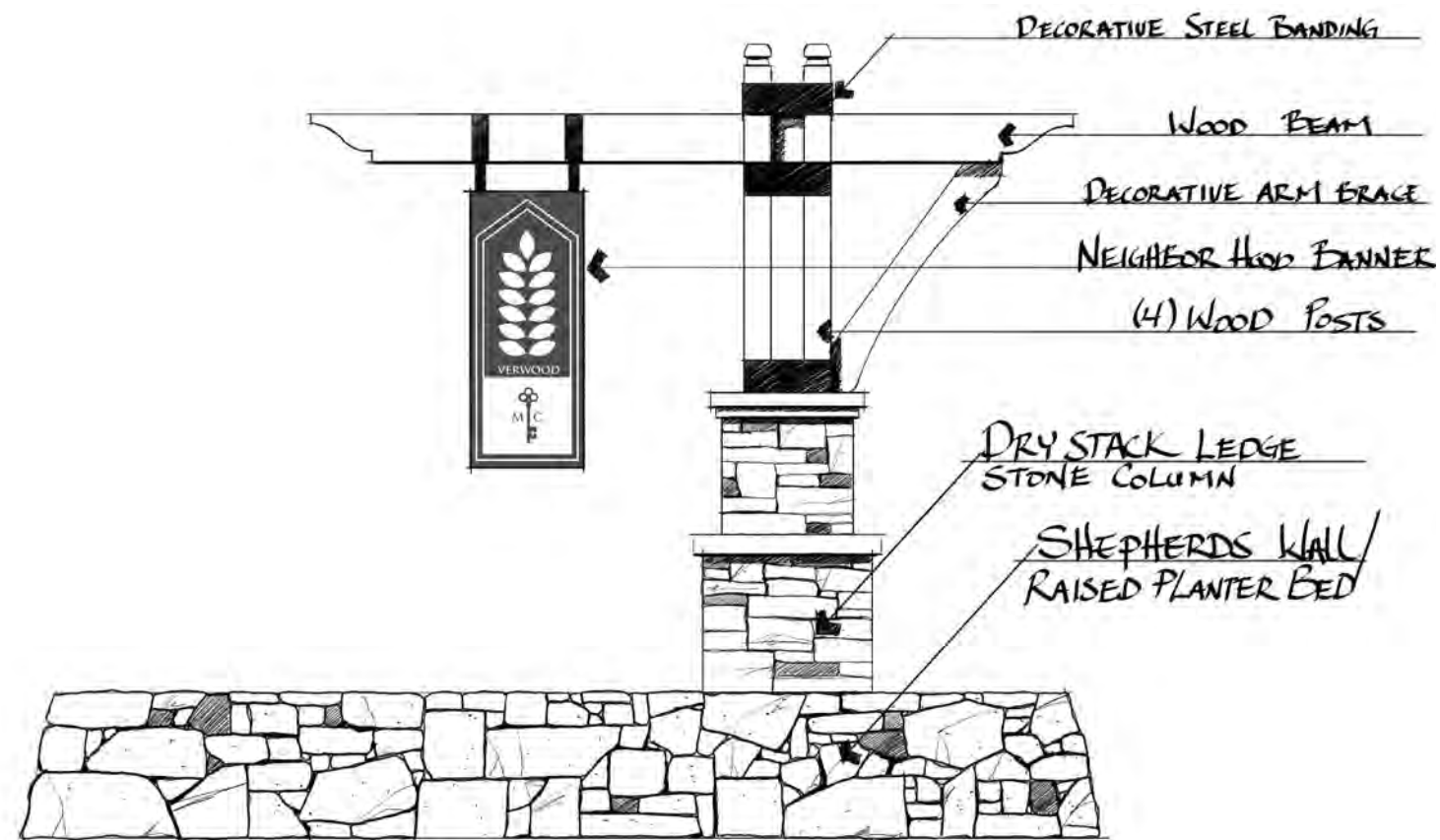
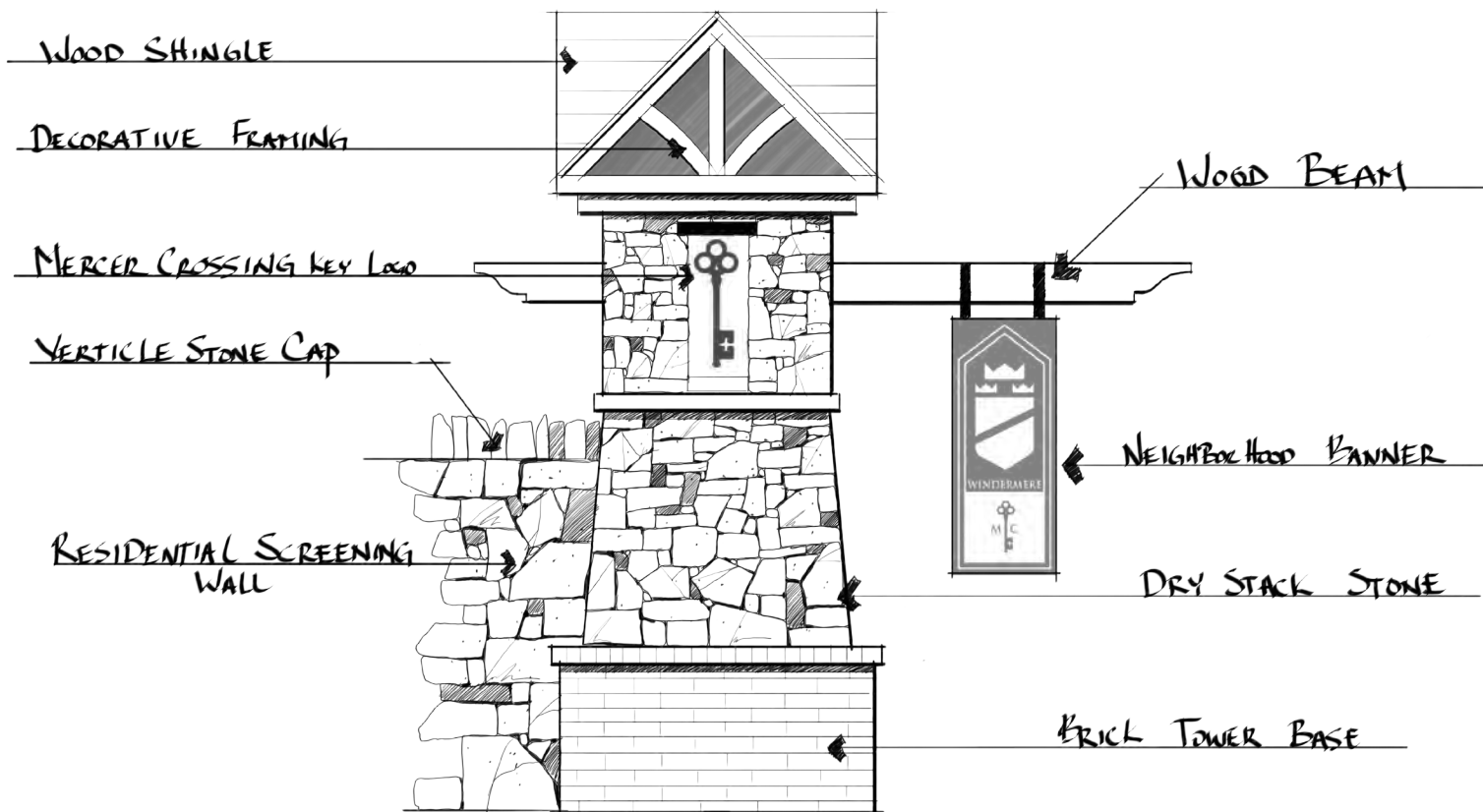
- The signs may be free standing or as part of the screening wall.
- They may include architectural elements consistent with the development theme. Material selection shall be complimentary to the neighborhood look and feel.
- Signs shall include the neighborhood name, banner, and an identifier of Mercer Crossing by the use of either the development logo or development name.
- Each neighborhood shall have a different look for their entrance signs. No two neighborhoods shall have the same entrance sign design.
- The sign shall be maintained by the Homeowner's Association.
- The actual design of the neighborhood entrance signs shall be included in the Detailed Site Plan. Please refer to those documents for specific design information.



## 4.2 GROUND SIGNS

### TYPE 5: NEIGHBORHOOD ENTRANCES

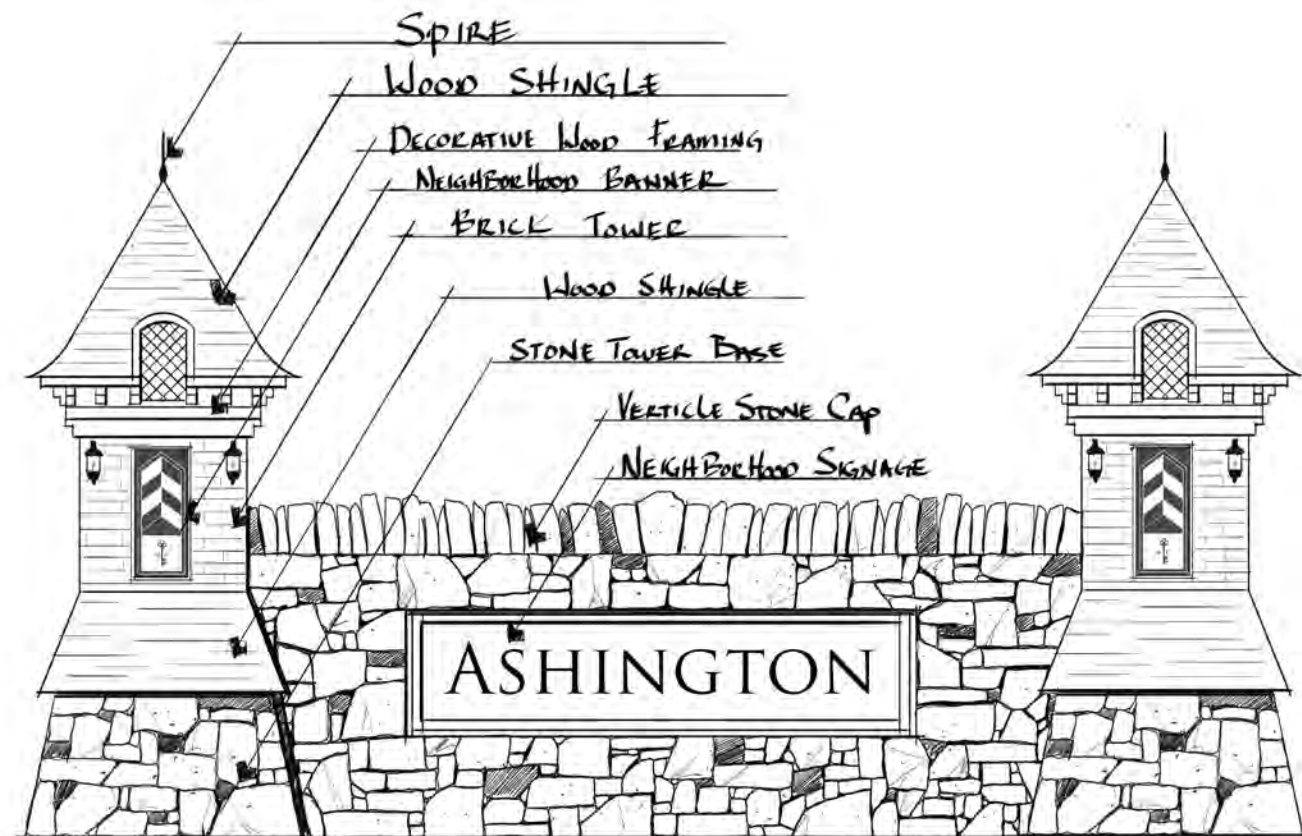
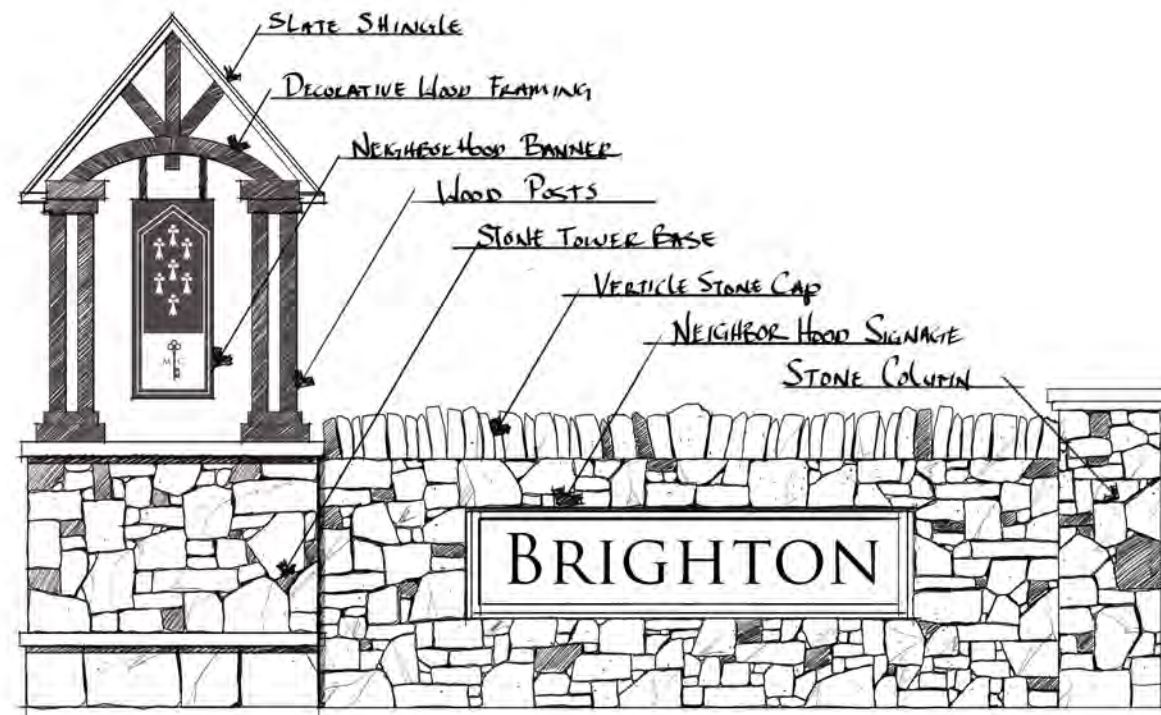




## 4.2 GROUND SIGNS

### TYPE 5: NEIGHBORHOOD ENTRANCES





## 4.2 GROUND SIGNS

### TYPE 5: NEIGHBORHOOD ENTRANCES





### Purpose

Wayfinding signs help pedestrians and motorists choose a path in a built environment. These signs are especially helpful in multi-building centers, master planned communities, and parks. They typically include the name of a feature or tenant with an arrow pointing in the direction in which it can be found. These signs help reinforce a distinct district and the community identity.

### Requirements

- All wayfinding signs used throughout Mercer Crossing shall be uniform and use consistent colors and typeface.
- These signs may be located on light poles, street signs, freestanding, or attached to buildings.
- Pedestrian kiosks may be used.
- These signs may also include park, trail, and bike path identification.
- These signs may be located at intersections of pedestrian paths, driveways, street intersections, or access drives.
- All signs shall include the Mercer Crossing logo, name, or other branding that identifies the Mercer Crossing community.



## 4.2 GROUND SIGNS

### WAYFINDING





The purpose of these guidelines for Commercial Signs is to allow for flexibility and variety in the types of building signs within the commercial areas of Mercer Crossing. The types of building signs may vary from one business to another, but the theme of Mercer Crossing shall be reinforced and complimented by the signs. Signs shall be appropriately scaled to the pedestrian or motorists, where applicable.

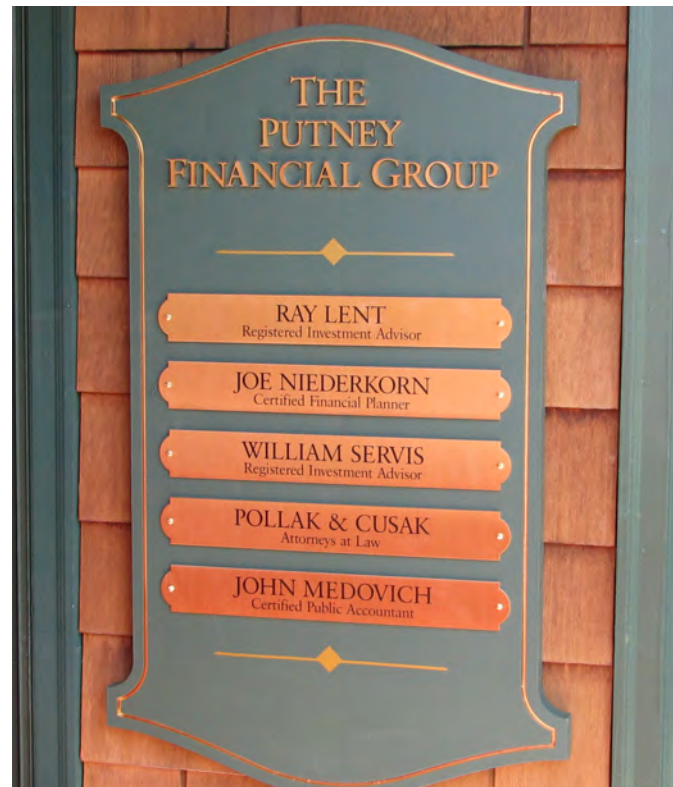
The different types of commercial signs shall include the following categories:

1. Directory Sign
2. Awning/Canopy Sign
3. Hanging Sign
4. Window Sign
5. Blade Sign
6. Banner Sign
7. Wall Sign

The following commercial signs are prohibited:

1. Electronic/Digital Signs
2. Roof and Painted Building Facade Signs
3. Billboards
4. Off-Premise Signs
5. Pole Signs





### Purpose

A directory sign identifies various tenants within a building for patrons to navigate to their destination.

### Requirements

- The sign may be located on the exterior of the building, preferably at entrances, with one sign on each street frontage.
- The building that the directory sign is used shall be a multi-tenant interior access building.
- The sign shall be attached to the building wall.
- The sign shall be externally illuminated.





### Purpose

These signs shall identify the business for which they are used. Canopies or Awnings are usually placed over windows or doorways to create a distinct entry.

### Requirements

- The awning lettering may only be located on the vertical hanging fabric with 6" letter height.
- Canopy lettering shall be attached above the canopy structure or within the face of the canopy structure. In each instance, the lettering shall not exceed 18" in height.
- The signs may be internally or externally illuminated.



## 4.3 COMMERCIAL BUILDING SIGNS

### AWNING SIGNS





## Hanging Signs

### Purpose

Hanging signs facilitate pedestrian navigation along storefront walkways and entrances. These signs embody the community theme and provide architectural interest to buildings.

### Requirements

- The signs may be suspended from above underneath a canopy or ceiling.
- The signs shall be located at building entrances or a corner of the building where two or more sidewalks come together.
- The sign area of a hanging sign may be 16 square feet per face for a one story building or forty square feet per face for a building of two stories or more.
- Lettering shall be 18".
- The signs may be internally or externally illuminated.

## Window Signs

### Purpose

Window signs are used in storefront windows to attract business from the street. They can also be used in a multi-story building to identify the tenants on the upper floors.

### Requirements

- Window signs may be permanent signs or temporary.
- These sign area shall be limited to a maximum of 40% of the glass area per opening.





### Purpose

A blade sign is similar to a hanging sign that is perpendicularly attached to the exterior wall of a building. This sign also provides architectural interest to the building.

### Requirements

- There may be one blade sign per street frontage.
- The signs shall be internally illuminated. Either the whole sign case may be internally illuminated or the lettering may be individually internally illuminated channel letters.
- The maximum sign lettering shall be 18".





### Purpose

Banner signs are typically temporary and used to identify events or tenants within the commercial areas.

### Requirements

- Banner signs shall be made of suitable material to withstand weather.
- There shall be prints/letters/images on both sides of the banner sign.
- Banner signs may be attached to light poles and buildings.
- These signs shall be supported by projecting poles at the top and bottom of the sign to withstand movement caused by wind.
- Banner signs shall not be illuminated.
- The sign face area for banner signs shall not exceed 16 square feet.





### Purpose

Wall signs are mounted to the exterior of the building and used to identify a tenant. Wall signs may also be used as building identification such as building name, building number, or street address.

### Requirements

- Building identification wall signs shall be used to identify buildings in a multi-building complex or a single building with multi-tenant interior access only.
- There may be one building identification wall sign on each street frontage.
- Wall signs that are not used for building identification shall be used to identify a business or tenant and may have one sign per street frontage, except for multi-tenant exterior access buildings may have one sign per tenant.
- Walls signs, including Building Identification Wall Signs, shall be internally or externally illuminated.



## 4.3 COMMERCIAL BUILDING SIGNS

### WALL SIGNS





## SECTION 5 OPEN SPACES, PARKS & TRAILS

5.1 HISTORICAL INSPIRATION

5.2 OPEN SPACE PLAN

5.3 PARKS, RECREATIONAL  
FACILITIES & OPEN SPACE





Historically English Landscapes took a minimalistic approach. Green rolling lawns that focused in on a key water feature. Clumps of trees were strategically planted to create a wooded backdrop and beautiful naturalistic views. These elements shall be applied in large open spaces and in the trail systems connecting each neighborhood.

At the neighborhood level residences will follow the traditional English country garden look with a generous mix of perennials, flowering shrubs and ornamentals. Layering plants creates a complex plant community and provides color and texture year around. Please refer to the appendix for a complete look at the plant selections. This planting method shall be applied at the residential scale, near entry signage, and intimate commercial settings.



## 5.1 HISTORICAL INSPIRATION





This open space plan indicates the locations of parks, recreational trails, linear parks, multi-family open space, and the Valwood open space. All areas shown will be vegetated using the plant list found in the appendix and shall follow the English country garden theme previously discussed.







Open Plazas like shown above provide gathering space and for building tenants and the general public. This concept will be applied in the commercial districts.



Grassy lawns not only fit the English garden theme, but are also very versatile. All parks throughout Mercer Crossing shall have open lawns.



The above paving pattern mimics the formal gardens of England and can be applied to any pocket park within the recreational areas.



Natural elements like above allow children to explore nature and use their imagination. These rocks could even be arranged in the classic Stone Henge formation to reinforce the English design.



## 5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

### PARKS





Lush green lawns serve various purposes when it comes to recreation. In the photo above you have the green lawn along with a linear trail, an adequate shade canopy, and seating. This concept will be applied in the area indicated on the map to the right.



Drainage areas within the linear park may be treated as bio-swales and be covered in vegetation like the concept shown above.

Linear parks are sometimes made of oddly shaped pieces of land, much like the vacant lots and city easements that link to become neighborhood parks. These parks are also used to form greenbelts that provide a continuous green connection throughout the city. The intended use is classified as low intensity recreation, which emphasizes the open space concept and allows for preservation of natural habitat. Manicured green lawns and clumps of dense wooded areas shall mimic the traditional English Landscape. Any site furnishings will mirror those uniquely selected for the Mercer Crossing development.



## 5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

### LINEAR PARKS





Covered pavilions protect visitors from the elements and encourage outdoor gatherings. The above photograph is merely showing the concept that shall be applied where space allows.

The Valwood open space should embrace the natural topography of the land and should be used for passive recreational purposes. A trail shall be built around the water feature/pond to provide access for residents. The Valwood open space should encourage the natural wildlife habitats of birds, aquatic life and small mammals, and create an environment for residents and their visitors to interact with and enjoy nature. Catch and release fishing may be permitted at the pond.

In order to promote the natural habitat and prevent excessive runoff, permeable paving should be used in the Valwood area.



The above images are examples of the wildlife-human interaction intended. The wetland area should be a place for residents to spend time outdoors and enjoy interacting and viewing all aspects of nature. In order to preserve wildlife habitat the incorporation of a boardwalk may be considered.



## 5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

### VALWOOD OPEN SPACE

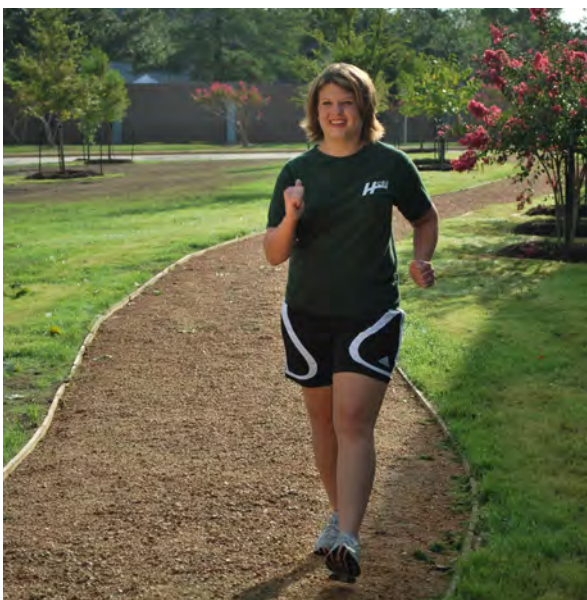




Bike friendly trails are fun for the entire family. Implementing safe crosswalks and lower speed limits increases safety and encourages families from near by neighborhoods to use the trails

Parks and open space should provide connectivity between different areas and neighborhoods. Pedestrian pathways and trails shall be located in open space areas, which encourages pedestrian activity and allows residents to access commerce areas without having to drive. Trails and pathways shall be constructed of concrete per City ordinance, and to facilitate bicycle, stroller, and ADA accessibility. Outdoor fitness stations may be constructed adjacent to trails in open space areas. The trails and walkways in Mercer Crossing should encourage safe pedestrian activity, community integration, and healthy lifestyles amongst its residents.

In addition to providing connectivity within the Mercer Crossing development, a signaled crosswalk shall be installed at the intersection of Valley View Lane and Mercer Parkway to allow safe access across the highway.



Ease of access makes trails more appealing for residents.



Outdoor fitness stations are great cost friendly gym alternative. Not skewing views allows parents to utilize the equipment while children play near by.



## 5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

### RECREATIONAL TRAILS





Multi-family developments shall preserve a minimum of ten percent of the total lot area for parks and open space. Landscaped walkways, yards, and entries shall be considered open space; however, dog parks, playgrounds, passive open space areas, gazebos and picnic tables, and grill/outdoor amenity areas are also acceptable uses for multi-family open spaces. These developments shall make all efforts to include pedestrian trail connections throughout the multi-family community linking these residents with the other neighborhoods within Mercer Crossing.

The Texas Tudor theme shall be carried throughout the multi-family community. All planting beds should following the English country garden theme, with layers of various colors and textures. All stone used shall coordinate with the selections unique to Mercer Crossing. The images to the left are examples of amenities that may be incorporated into the multi-family development.



## 5.3 PARKS, RECREATIONAL FACILITIES, & OPEN SPACE

### MULTI-FAMILY OPEN SPACE





## SECTION 7 URBAN COMMERCE DISTRICT

7.1 INTRODUCTION

7.2 ARCHITECTURAL  
STANDARDS

7.3 SITE DEVELOPMENT  
STANDARDS





Although the architectural look of this retail center is not what we are going for, the concept is. An open plaza area allows the continued flow of pedestrian traffic and the space for landscaping.



This commercial facade shows a variation in roof pitch and building material to create a Tudor style village. This concept shall be applied to all commercial areas using materials found in the appendix.

The Urban Commerce District for Mercer Crossing makes up nearly 35% of the community's land area. It allows for a mixture of land uses such as retail, office, hospitality, institution, senior living, and high density multi-family residential. The areas designated for this district are located at major street intersections and on the periphery of the Mercer Crossing community, as shown on the Land Use Plan.

The type of development planned for this District can include small, single lot, one purpose buildings up to larger retail power/shopping centers. Small scale retail, mixed use buildings, corporate offices and multi-family buildings can also be included to evoke a village-like feeling within the District. These uses should be compatible and promote interaction with one another where appropriate. Particular attention should be given to the front building facade to complement the streetscape and help create an active street scene. Pedestrian and vehicle circulation patterns should be efficient and provide increased mobility from open space and parking areas. The use of site elements and amenities shall be compatible to the design theme to evoke a sense of unity.



This lively, urban concept should be applied in the mixed use areas, specifically the Boardwalk South of I 635. Providing multiple uses to an area utilizes the space to its full potential. Here you can see people relaxing, space for children to play, restaurants, and retail.







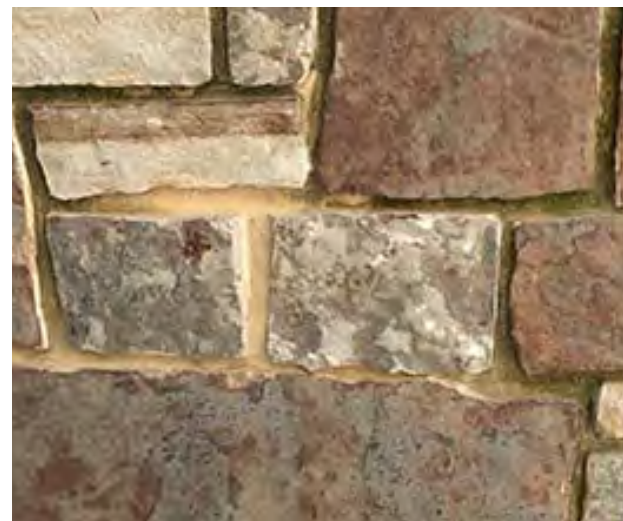
Buildings within the Urban Commerce District shall be architecturally compatible with the Texas Tudor design theme. Facades should be finished on each side of the building, using elements such as articulation, detailing, and other architectural features. The building plane should be articulated horizontally and/or vertically to avoid long expanses of exterior wall. Articulating roof lines can also help soften long building edges. Buildings should include architectural elements such as cornices, awnings or canopies, lintels, columns, porticoes, colonnades, or balconies. These elements can unify separate parts of the building, make the building human scaled, and provide a backdrop for building signage or graphics.

A tri-partite design shall be used on larger buildings within the Urban Commerce District to help break up the wall plane. The buildings shall have a distinct base, middle, and top, and each of these sections should have different facade materials. Smaller buildings that are located on individual pad sites or are not part of a larger building complex shall be architecturally compatible with the larger development.

All of the facades shown to the left demonstrate the character needed to portray the Texas Tudor theme. The roof variations, architectural details and materials work together to create an upscale retail center.







Materials for Urban Commerce buildings shall be predominately masonry, which includes a combination of brick and stone. A variety of brick and stone patterns can be incorporated into each facade to create architectural interest and also be complementary to the design theme. Soldier course and herringbone are just a couple of brick patterns that may be used on facades. A variety of stone patterns, such as splitface, rectilinear, or stacked stone can also be used to enhance the architectural style. Large stone blocks, such as cast stone and limestone, can be used at the base of a building. A combination of these materials shall make up at least 75% of the facade area.

Secondary materials may include smooth finished stucco and Hardi-plank. These materials may constitute a maximum of 25% of the facade, provided that the Hardi-plank is configured as horizontal lap siding. The complete list of exterior paint options is located in the appendix. These options or approved substitution range from lighter Earth tones to deeper jewel tones and all must reinforce the Texas Tudor theme.

Accent materials can make up 5% of the facade and may include a variety of materials for architectural elements such as trim, soffits, eaves, beams, lintels, shutters, and cornices. Materials may include pre-cast masonry, gypsum reinforced fiber concrete, metal, split-faced CMU block, and EIFS. Wood or faux wood may also be used as an accent material on up to 25% of the building facade to accentuate the Texas Tudor theme.







Windows are an important architectural feature and particular attention should be given to the placement of windows on a facade. For store fronts and shops, windows allow interaction with the street and pedestrian spaces. The placement of windows, along with the size and type, help establish the scale vitality of the public realm.



## 7.2 ARCHITECTURAL STANDARDS

### WINDOWS





Building entrances shall be human-scaled and clearly identifiable to pedestrians and motorists. The use of awnings, canopies, porticoes and other sheltered entry elements should be used to enhance the entrance and provide protection. Other features may include lintels, pediments, columns, overhangs, railings, or balustrades.

The use of awnings and canopies emphasizes the human-scaled design of the buildings, and gives the detail needed for portraying the Texas Tudor theme. Materials that may be used for awning and canopies are metal, fabric, vinyl, acrylic, or fiberglass provided that they are opaque and not shiny or reflective. Any support structure that is used for awnings or canopies should complement the style of architecture and materials used on the building.

Awnings and canopies are allowed over windows or doors provided that they do not encroach onto a pedestrian pathway or street space. They cannot be internally illuminated. All color choices and materials must follow those provided in the appendix section.



## 7.2 ARCHITECTURAL STANDARDS

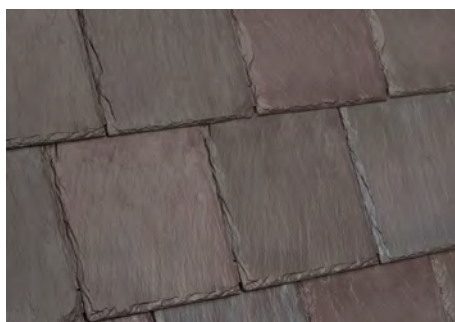
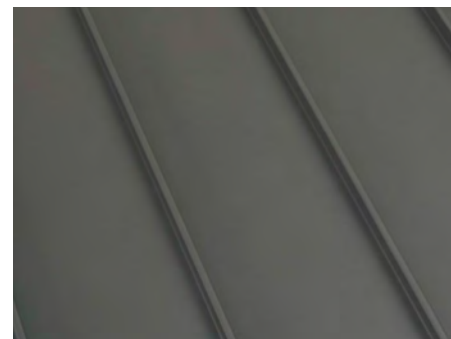
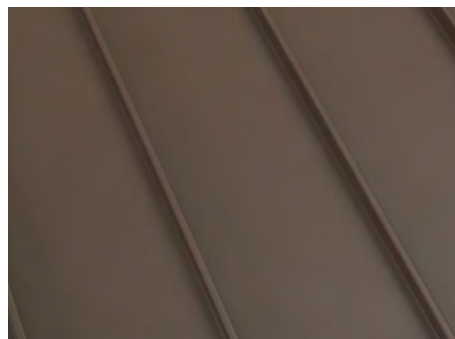
### ENTRANCES, AWNINGS, & CANOPIES





Commercial roofs may be pitched or flat with parapets and shall be complementary to the design theme. Vertical articulation, which includes articulating roof lines, is encouraged to minimize long stretches of facade. The use of parapets is also helpful in screening rooftop equipment and to provide an area for a building sign. Parapets may include cornices and other trim elements to distinguish the top of a building.

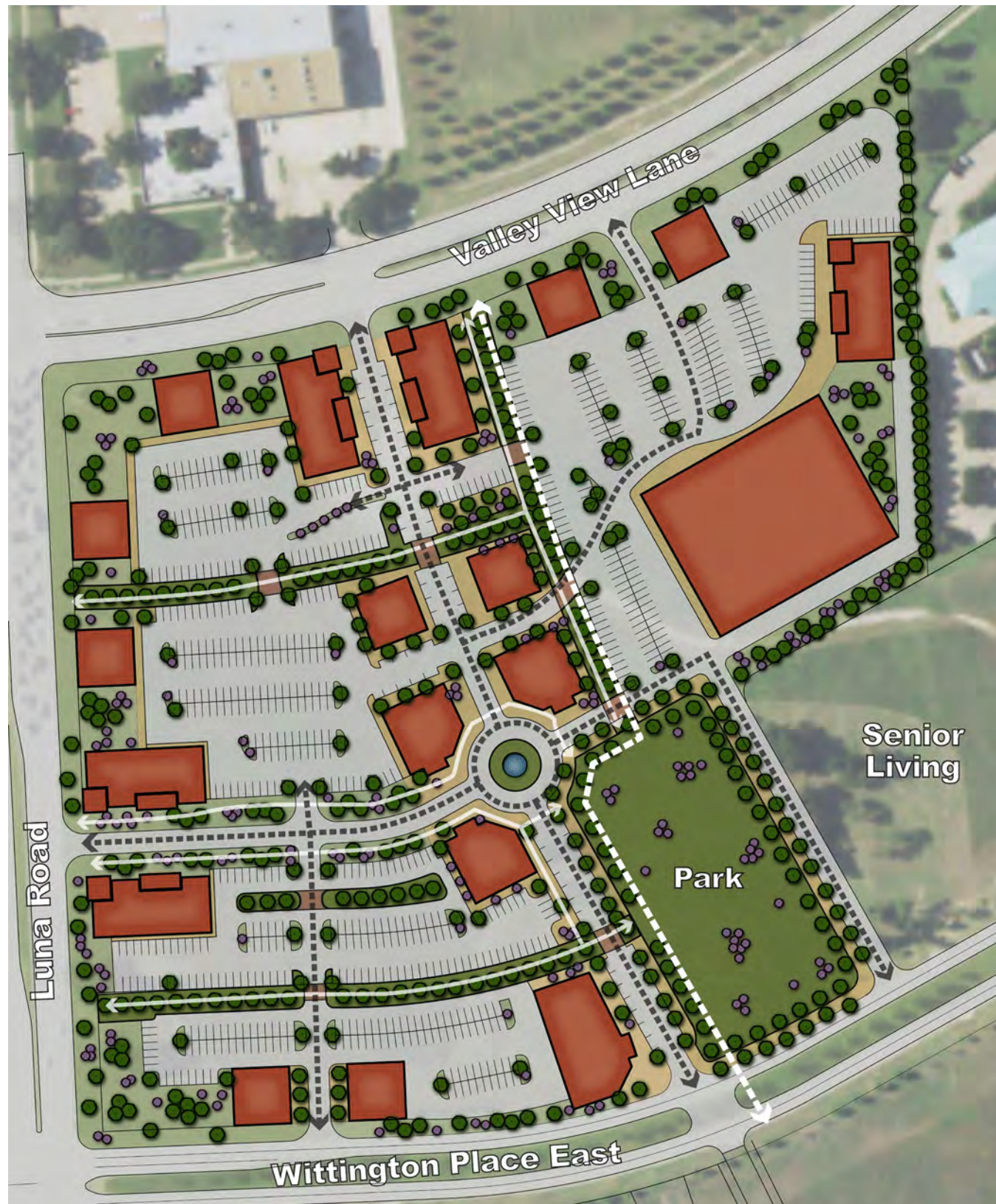
The materials of roofs shall be a combination of asphalt shingles, tile (clay or concrete), or metal standing seam. Flat roofs with parapets shall have a monolithic Thermoplastic Polydeflin (TPO) membrane that is not visible from the ground. Roof materials for awnings, canopies, and other elements that are used to create arcades along storefronts shall be shingle, metal, slate, or tile.



## 7.2 ARCHITECTURAL STANDARDS

### ROOFS





The site layout for each area within the Urban Commerce District shall be an integrated design approach that takes into consideration the surrounding roadways and proposed neighborhoods while ensuring pedestrian connectivity to the community's trail and open space system. Visibility and accessibility are key components that are vital to the success of restaurants, retail, and shopping areas. Particular attention should be given to these components during the site design process for commercial areas.

This conceptual site configuration proposes interior parking blocks. Providing for several outparcels or pad sites for individual buildings in front of a large anchor or shopping center.

Elements that should be considered include maximizing views in open space and designing the site to overlook water features. These components are community amenities and provide an added value to the commercial areas. The inclusion of plazas and outdoor dining opportunities increases human interaction with the public realm and is strongly encouraged where appropriate.



## 7.3 SITE DEVELOPMENT STANDARDS

### CONCEPTUAL LAYOUT





The Urban Commerce District may utilize a shared parking design approach for off peak uses in order to minimize over-parking scenarios and to reduce impervious areas. The majority of surface parking is required to be located behind the buildings in order to create a consistent street edge. Surface parking area shall include landscape islands and borders to create shade and aesthetic balance with paved areas. Both on street, and off, street parking are allowed.

The images to the left indicate a properly landscaped parking lot. Parking islands should be treated as bio-swales in order to filter runoff and for aesthetic value. These areas are ideal places to incorporate the English country garden theme with layers of colors and textures. Please refer to the appendix for a complete plant list.

Pedestrian connectivity between parking islands shall be taken into consideration throughout all parking areas. Pedestrian arteries shall lead directly to their destination without any conflict with moving vehicles, except for crosswalks to access storefronts.

Parking structures may be necessary to accommodate a higher parking demand. If necessary, the structure shall be architecturally compatible with the surrounding buildings. Street level areas of a parking structure may include some ground floor retail or office uses to promote an active street scene.







Landscaping for the Urban Commerce District shall include a wide variety of plants, trees, and shrubs that are consistent with the Texas Tudor design theme. While the different street types for Mercer Crossing require street trees along the parkway, the use of landscape buffers may be appropriate if the buildings are not located directly on the street edge. To promote an organic feel, lifestyle shopping is encouraged. This type of area should include wide walkways broken up with landscape planters and beds.

Parking lot landscaping is important to soften the views of large expanses of concrete and to provide shade and relief from the sun. Screening shrubs shall be used where parking lots abut a street to block any unwanted views. Landscaped islands with at least one tree shall be located at the end of rows of parking. In addition, a landscaped island is required for every 15 spaces located within a parking row. When appropriate, raised planters may be needed to protect a landscape island.

Foundation landscaping is encouraged along the facade of large buildings to help soften the architecture and to enhance the look and feel. The use of either landscaped beds or planters is appropriate.





### Fencing

Areas of the Urban Commerce District that are directly adjacent to residential neighborhoods should be screened by a combination of stone or masonry wall. For a complete list of approved color options visit the appendix.

Service areas, such as dumpsters, shall be screened by a fence or wall of a maximum of 8' in height to minimize visibility.

### Retaining Walls

The use of retaining walls may be necessary for grading purposes. If retaining walls are use, they shall be clad in a material that is consistent with the overall design theme.







This fencing plan indicates the location of a six foot masonry fence that is used as a partition between residential and commercial areas. It will also be used along all major streets as an aesthetic screen for residential areas

Fence must be constructed of stone, masonry, or a combination of the two. Patterns and color selections can be found in the appendix.



## 7.3 SITE DEVELOPMENT STANDARDS

### FENCING PLAN

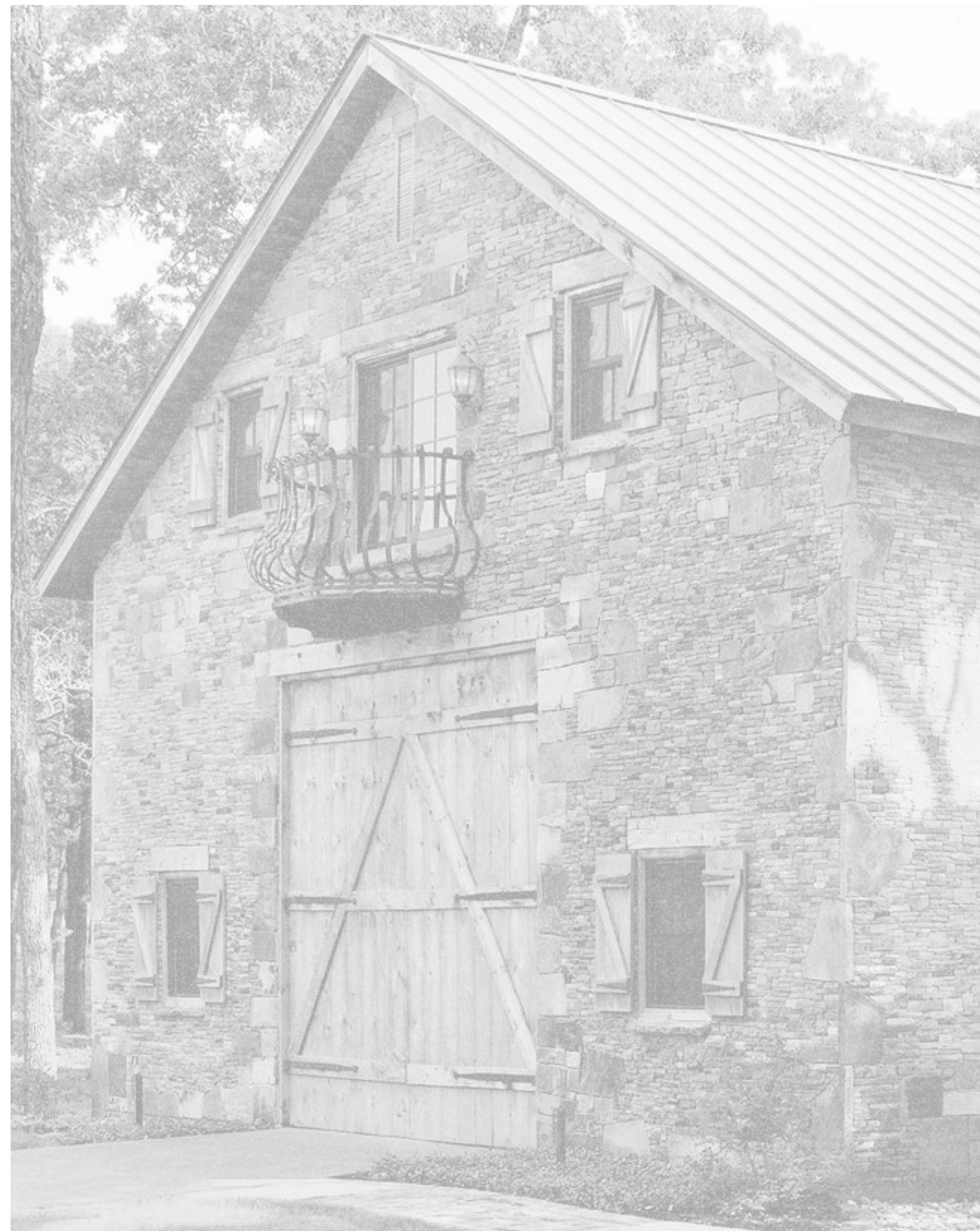




## VOLUME 2: PATTERN BOOK



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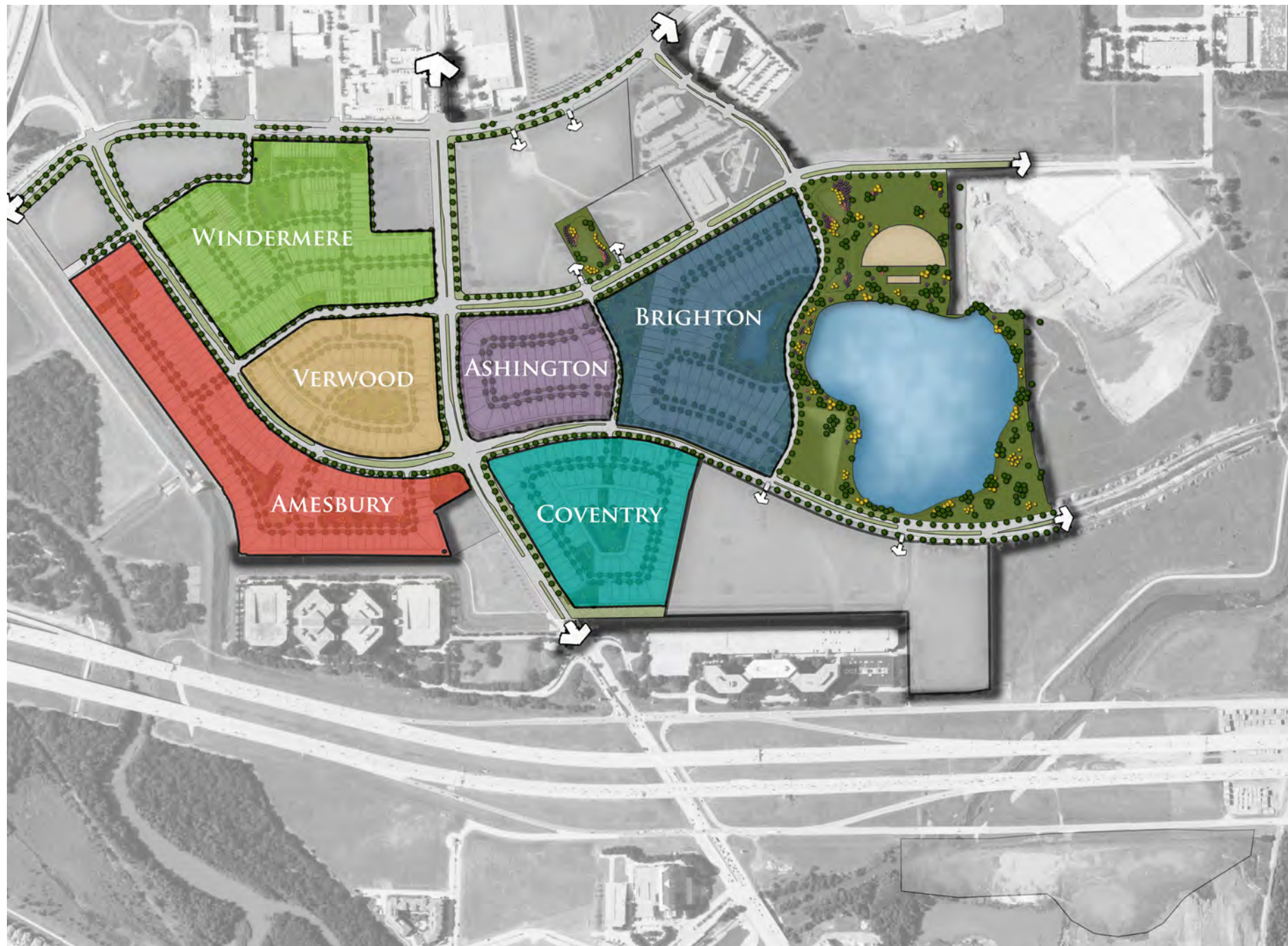


## SECTION 1 INTRODUCTION

1.1 NEIGHBORHOODS

1.2 NEIGHBORHOOD LOGOS



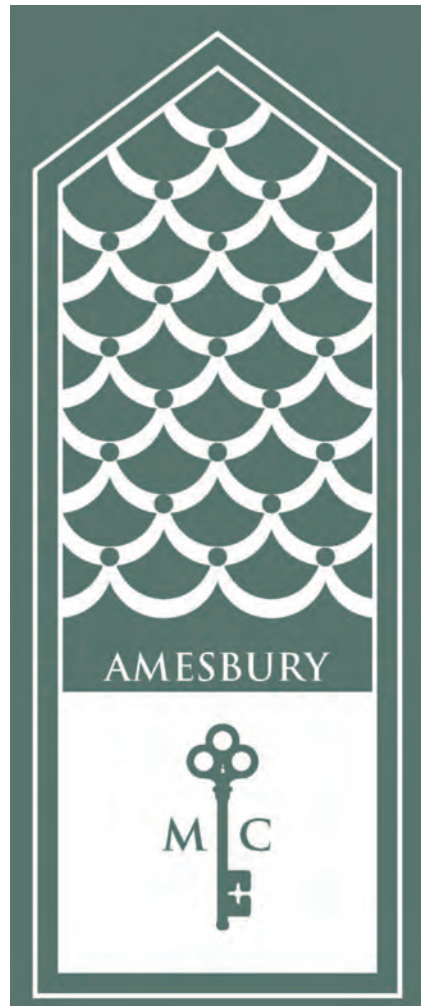


Each Single Family Neighborhood in Mercer Crossing shall create a distinct identity through the use of different entry feature elements, neighborhood names, and plant palettes. The look and feel of each neighborhood shall reinforce the Texas Tudor Theme of the overall community. The purpose of distinct neighborhoods is to create a unique atmosphere throughout the Mercer Crossing development and evoke a sense of place among the residents.

The names of the neighborhoods shall be as follows:

- Amesbury
- Ashington
- Brighton
- Coventry
- Verwood
- Windermere





## 1.2 NEIGHBORHOOD LOGOS





## SECTION 2 LOT PATTERNS

2.1 LOT DESIGN STANDARDS

2.2 LOT LANDSCAPE



## Type 3 - Single Family Residential

### SFD-40 - Single Family Detached, 40' Width

Located in the same neighborhood as the attached townhomes, the 40' wide detached lots continue the transition from urban commerce to lower-density residential. Lots may feature a 5' side yard setback on either side, or a .5'/9.5' side yard setback for a zero-lot-line configuration. Refer to detailed site plan for exact location of residential lots.

#### SFD-40 Regulations: Architectural Elements:

Min. Lot Area: 4,200 SF

Min. Lot Width: 40'

Min. Lot Depth: 105'

Max. Height: 35'

Max. Stories: 2.5

Min. Front Yard Setback: 10' Rear-Load/ 10' J-Swing/25' Front-Load

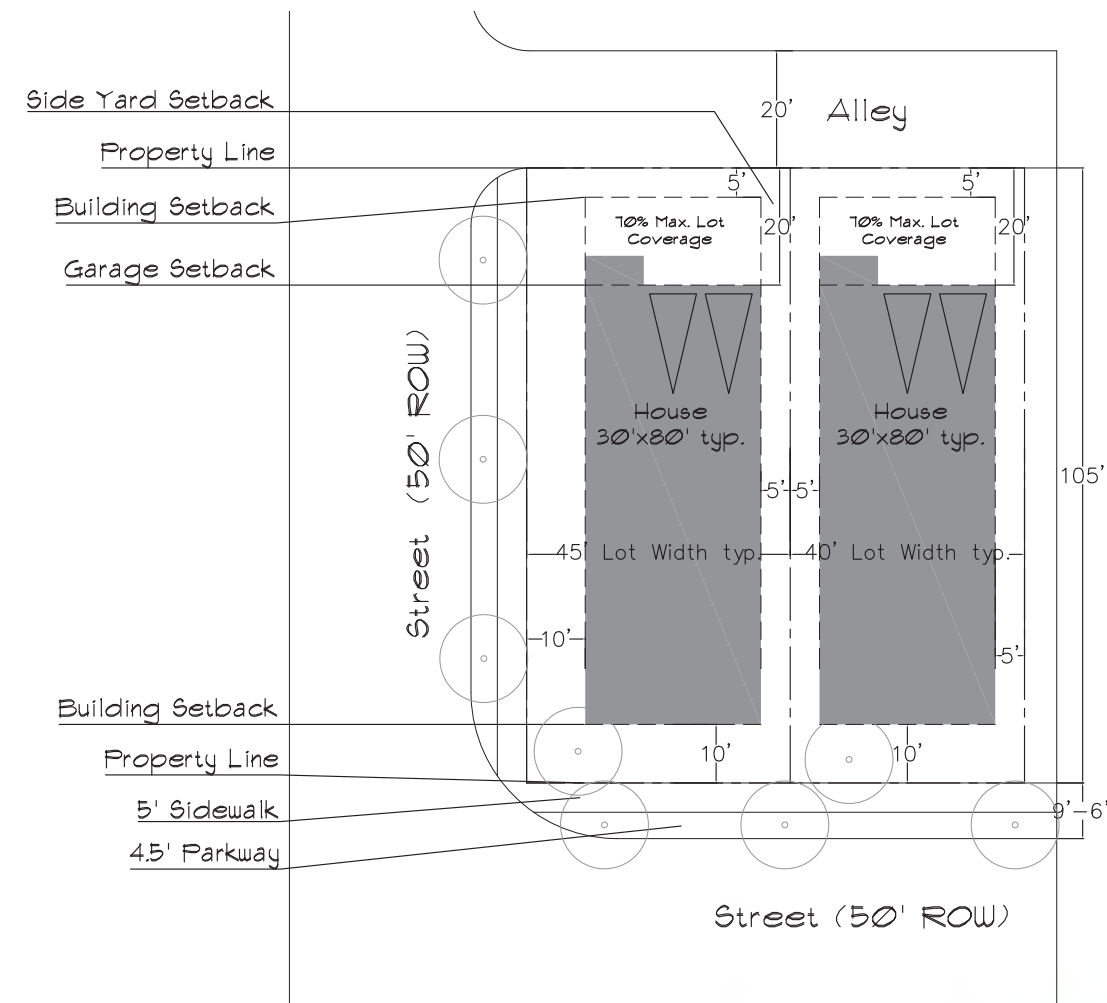
Min. Rear Yard Setback: 5' Rear-Load

Min. Interior Side Yard Setback: 5' or .5'/9.5' for zero-lot line homes

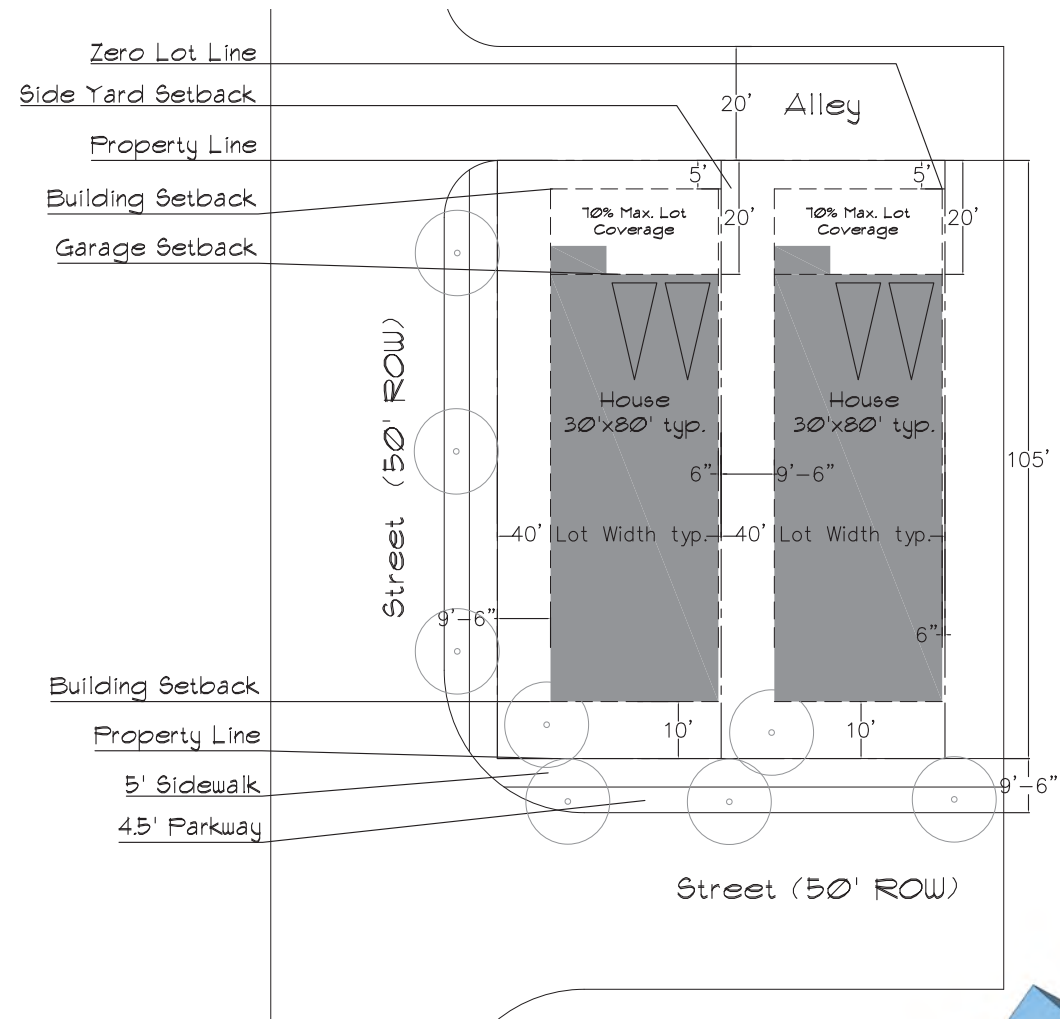
Garage Orientation: Rear

Min. Square Footage: 1,800 SF

Max. Lot Coverage: 70%



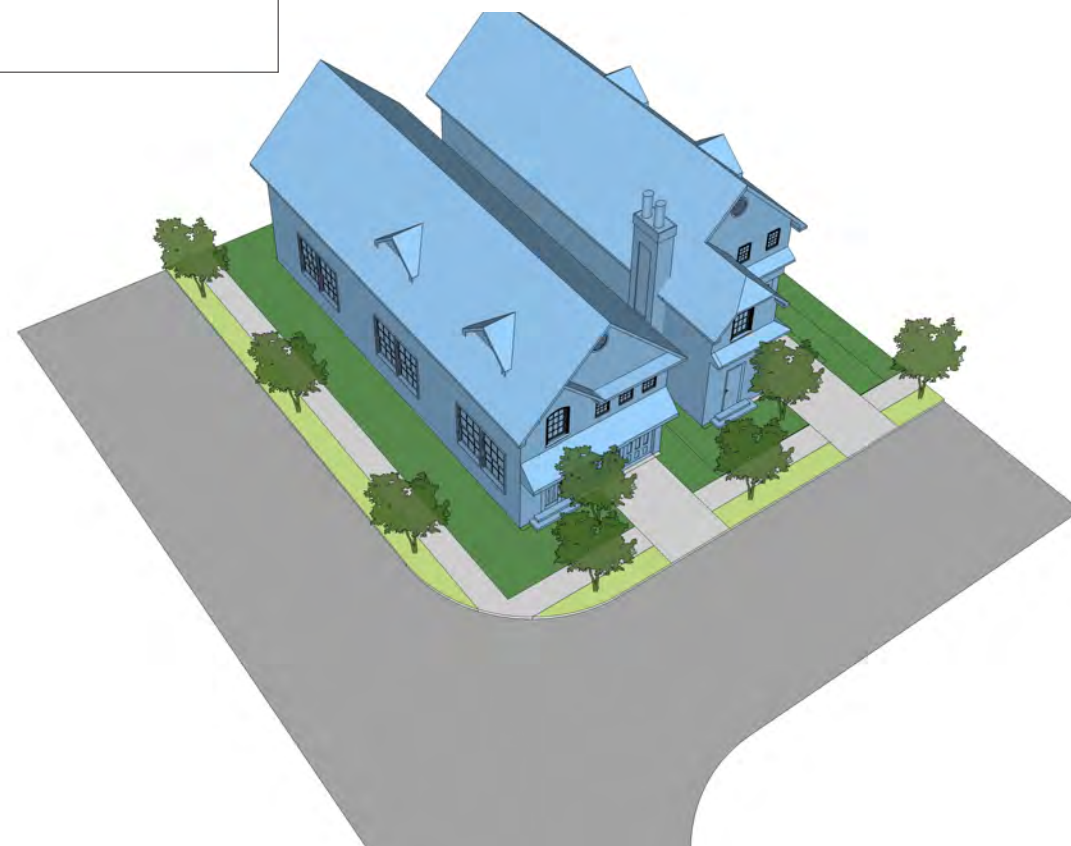
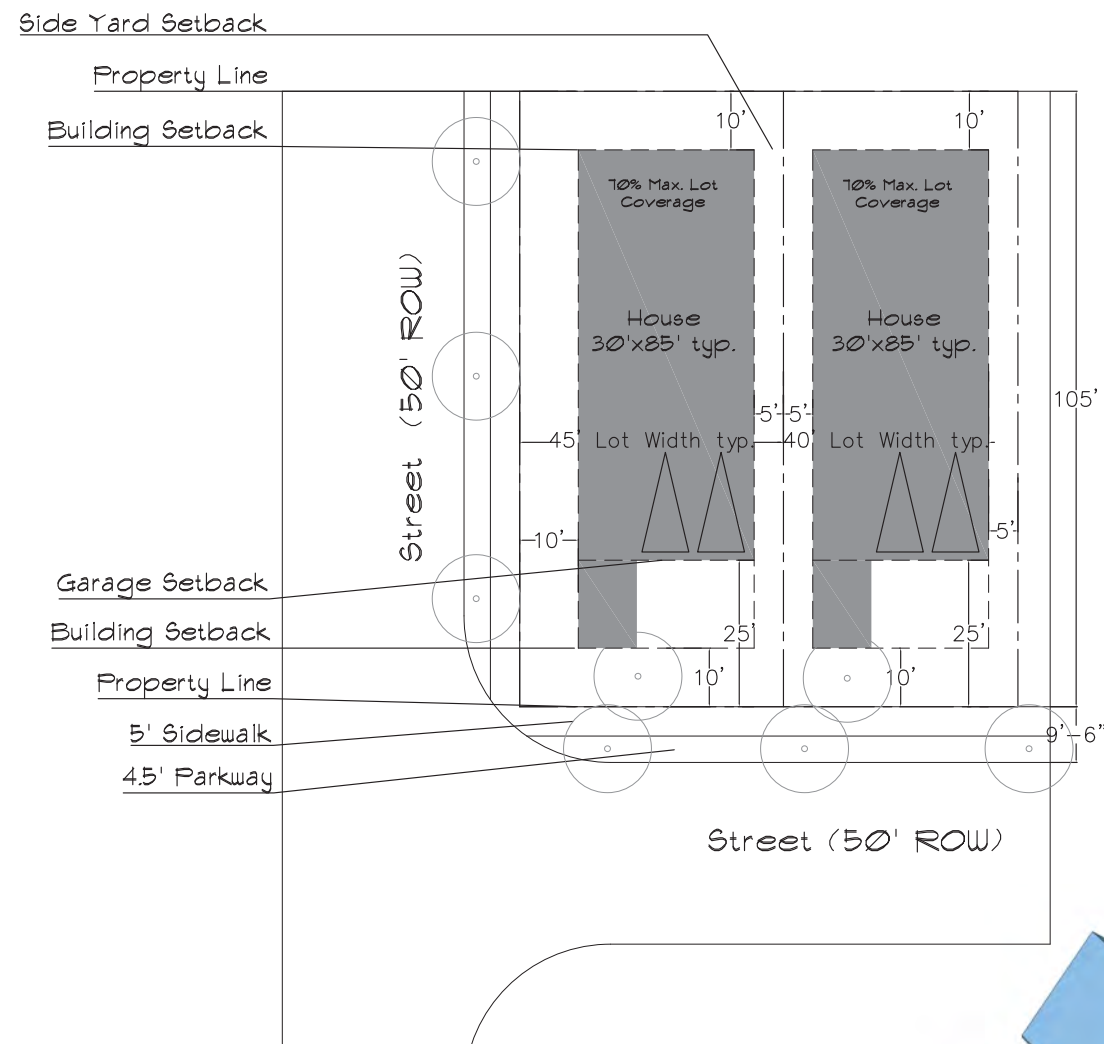




## 2.1 LOT DESIGN STANDARDS

### 40' REAR LOADING ZERO LOT LINE

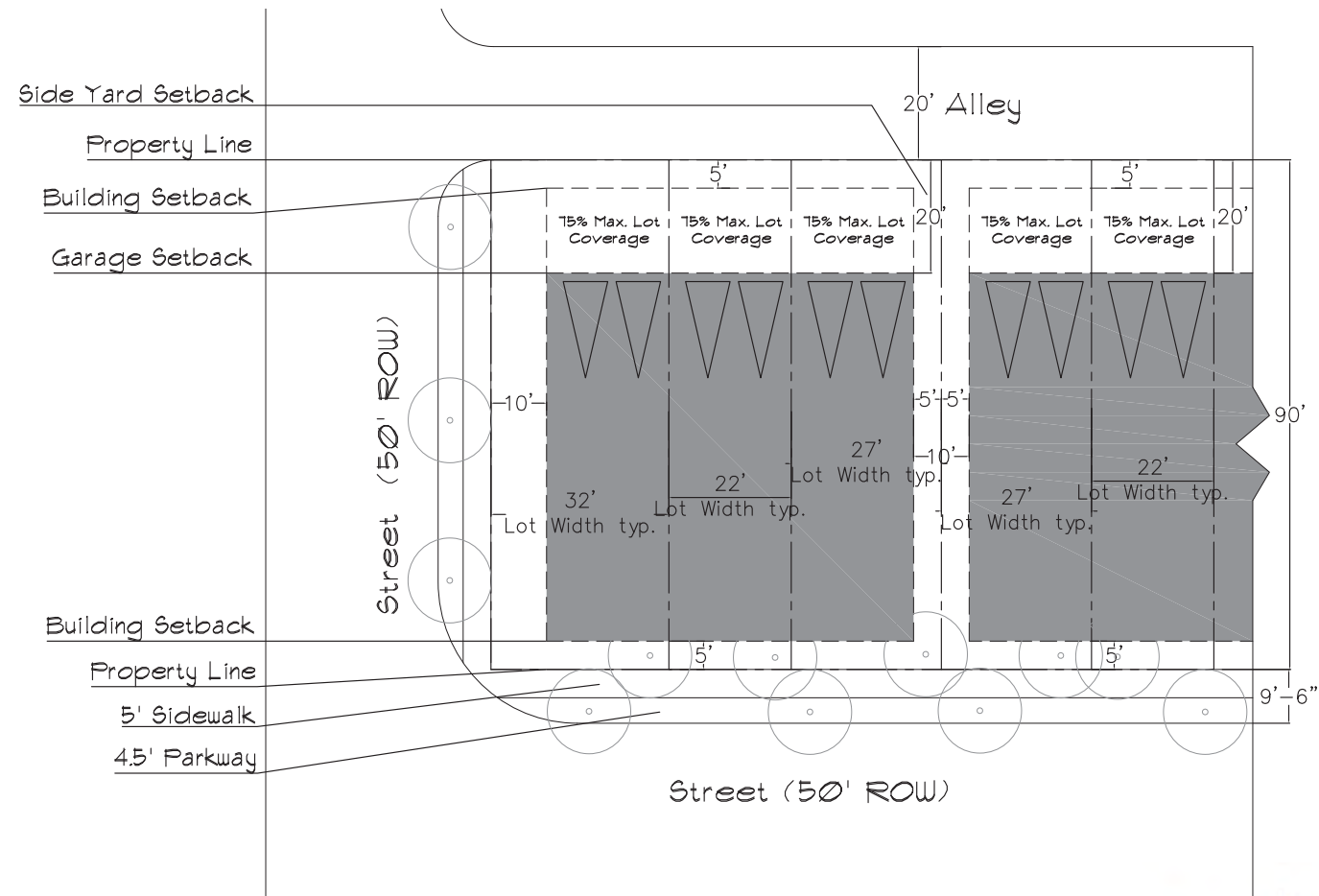




## 2.1 LOT DESIGN STANDARDS

### 40' FRONT LOADING





### SFA – Attached Townhome

Townhomes are located on the western half of Mercer Crossing, the residential neighborhood closest to Valley View Lane. The townhomes serve as a transitional use between the urban commerce parcels and the lower-density residential uses. Refer to detailed site plan for exact location of residential lots.

#### SFA Regulations:

Min. Lot Area: 1,980 SF  
 Min. Lot Width: 22'  
 Min. Lot Depth: 90'  
 Max. Height: 45'  
 Max. Stories: 3.5  
 Min. Front Yard Setback: 5'  
 Min. Rear Yard Setback: 5'  
 Min. Interior Side Yard Setback: N/A  
 Garage Orientation: Rear Loading  
 Min. Square Footage: 1,600 SF  
 Max. Lot Coverage: 75%

\* Townhomes shall be limited to building groupings that do not exceed 9 units in length with each building grouping required to have a building separation of not less than ten (10) feet between building groupings.



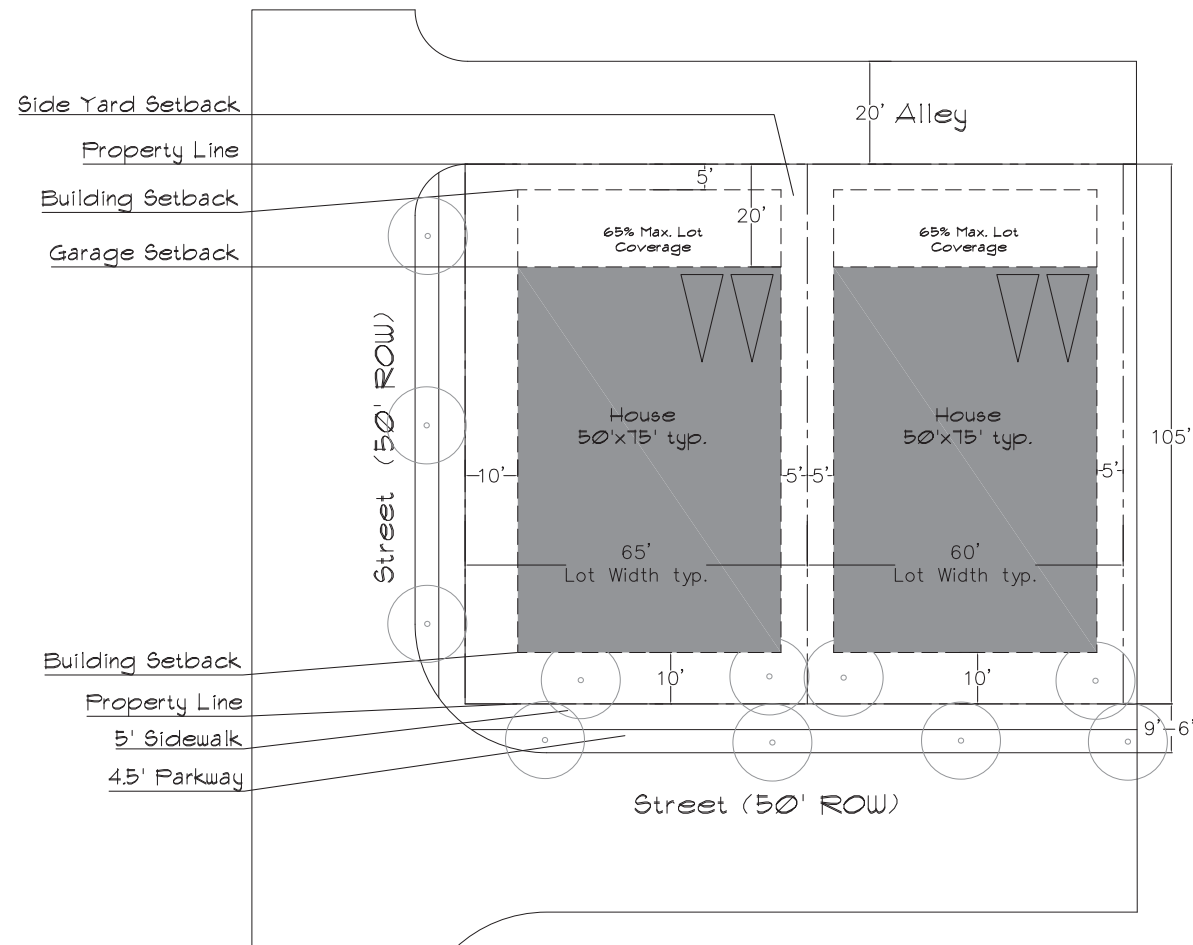
## Type 1 - Single Family Residential

### SFD-60 – Single Family Detached, 60' Width

SFD-60 is the largest residential lot size in the Mercer Crossing Urban Residential district. Located near the eastern boundary of the Mercer Crossing development, this neighborhood is centered on open space. The required rear-loading lot configuration provides a quiet streetscape and attractive street frontages. Refer to detailed site plan for exact location of residential lots.

#### SFD-60 Regulations:

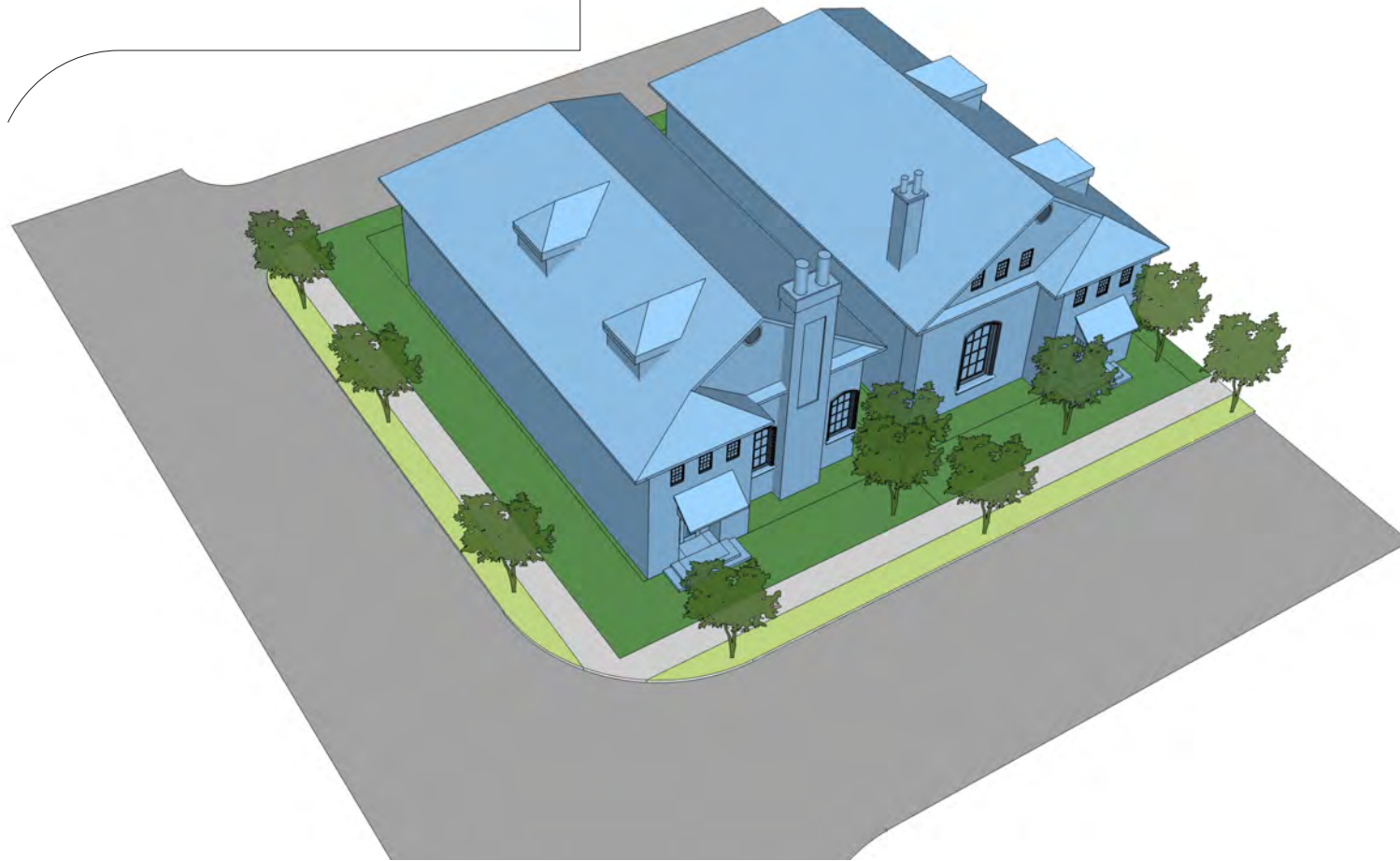
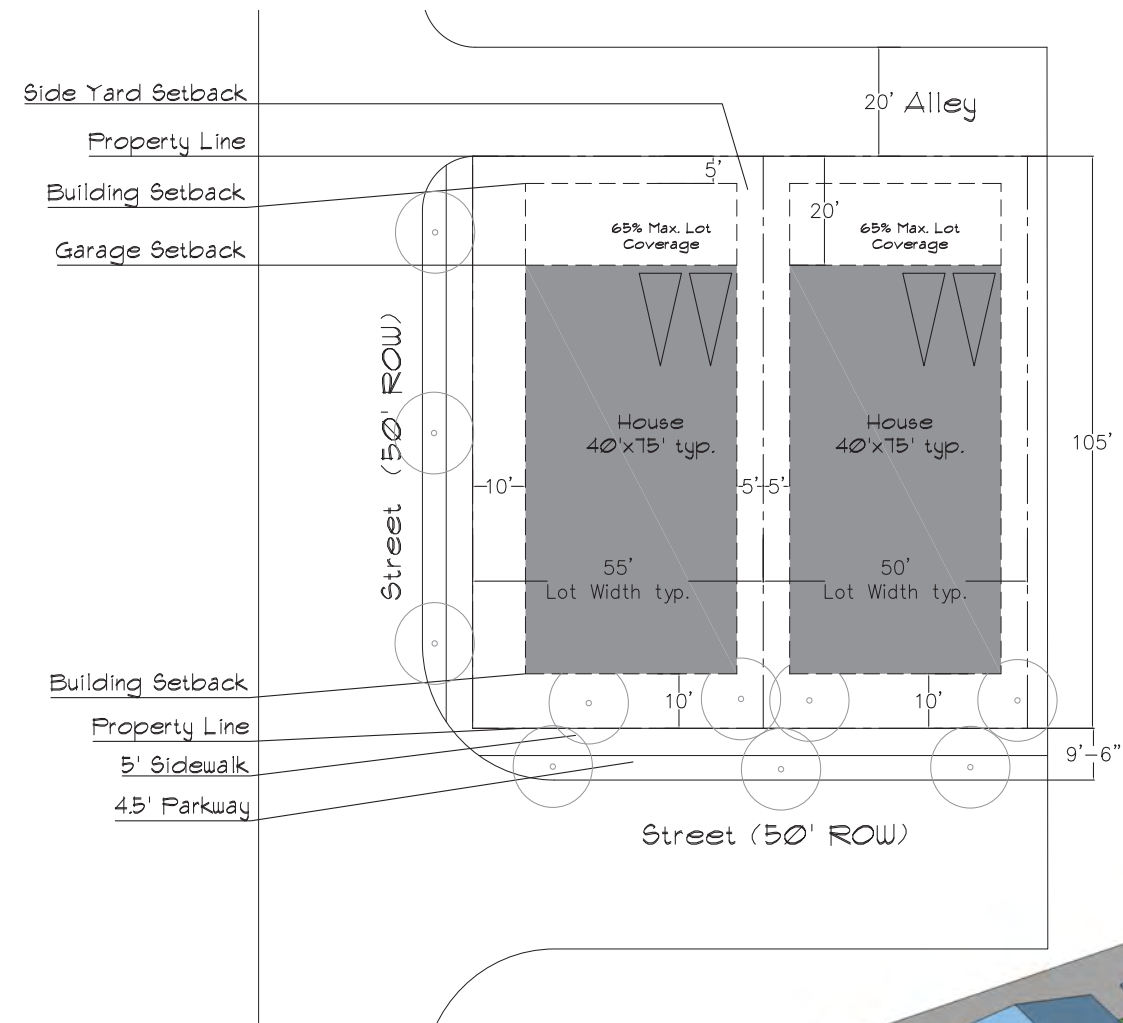
Min. Lot Area: 6,300 SF  
 Min. Lot Width: 60'  
 Min. Lot Depth: 105'  
 Max. Height: 40'  
 Max. Stories: 3.0  
 Min. Front Yard Setback: 10'  
 Min. Rear Yard Setback: 5'  
 Min. Interior Side Yard Setback: 5'  
 Garage Orientation: Rear Loading



## 2.1 LOT DESIGN STANDARDS

### 60' REAR LOADING LOT





## Type 2 - Single Family Residential

### SFD-50 – Single Family Detached, 50' Width

The SFD-50 residential districts are traditional single-family detached neighborhoods, and are the most common lot size in Mercer Crossing. Lots can be either rear-loading or front-loading, with an option for J-swing garages. Refer to detailed site plan for exact location of residential lots.

#### SFD-50 Regulations:

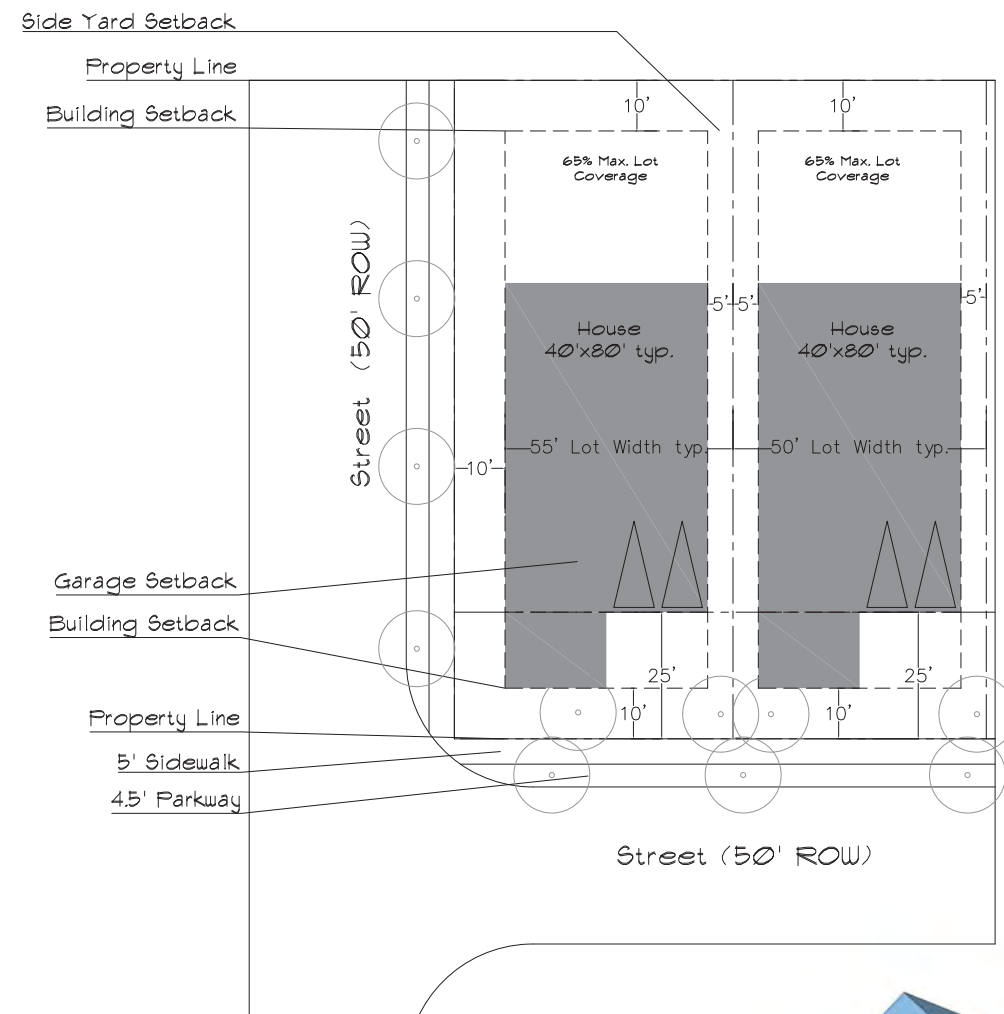
- Min. Lot Area: 5,250 SF
- Min. Lot Width: 50'
- Min. Lot Depth: 105'
- Max. Height: 35'
- Max. Stories: 2.5
- Min. Front Yard Setback: 10' Rear-Load/10' J-Swing/25' Front-Load
- Min. Rear Yard Setback: 5' Rear-Load/10' Front-Load
- Min. Interior Side Yard Setback: 5'
- Garage Orientation: Rear or Front Loading
- Min. Square Footage: 2,200 SF
- Max. Lot Coverage: 65%



## 2.1 LOT DESIGN STANDARDS

### 50' REAR LOADING

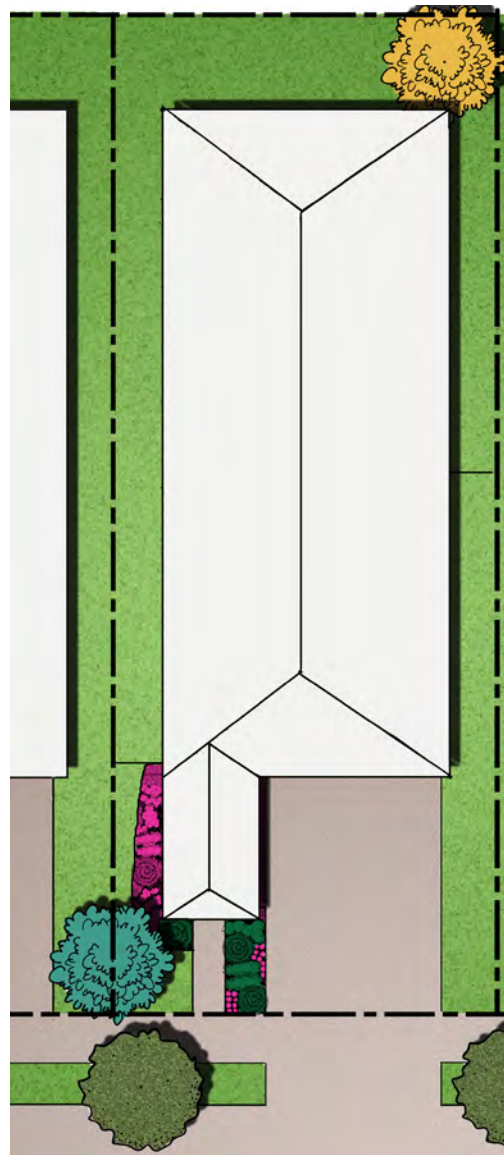




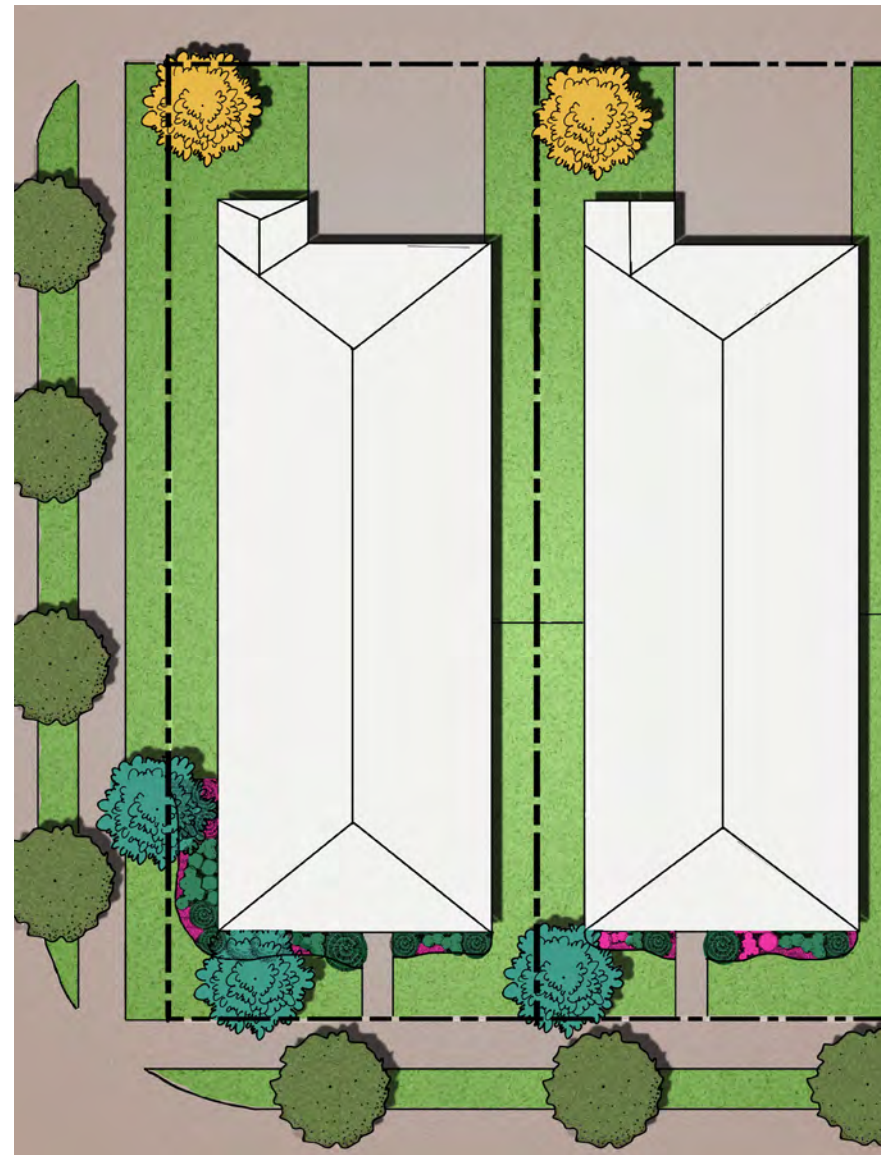
## 2.1 LOT DESIGN STANDARDS

### 50' FRONT LOADING LOT





40' Front Loading



40' Rear Loading- Corner Lot



40' Zero Lot Line

The diagrams shown (left) demonstrate the required landscape and the strongly suggested enhancements that should be installed. All landscape installations shall follow an English country garden theme and all plants must come from the provided plant list in the appendix.

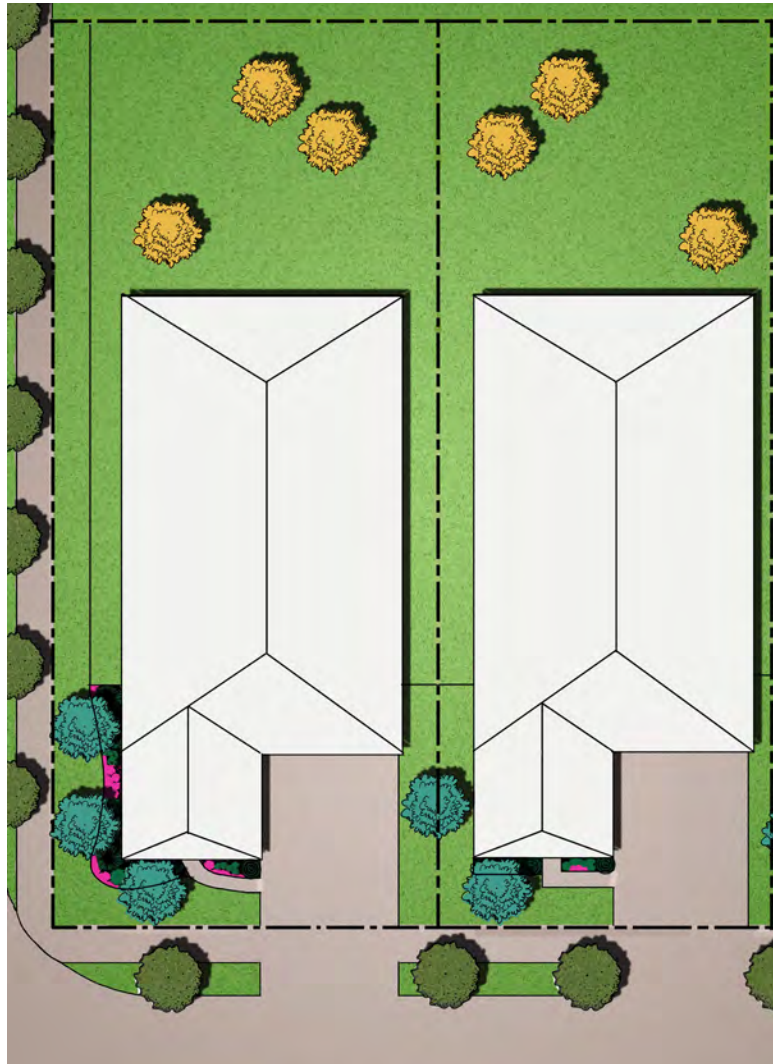
The minimum landscape requirement for a 40 foot residential lot is 1 large shade tree, 3 five gallon shrubs, and 8 one gallon shrubs. Any 40 foot corner lots must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees

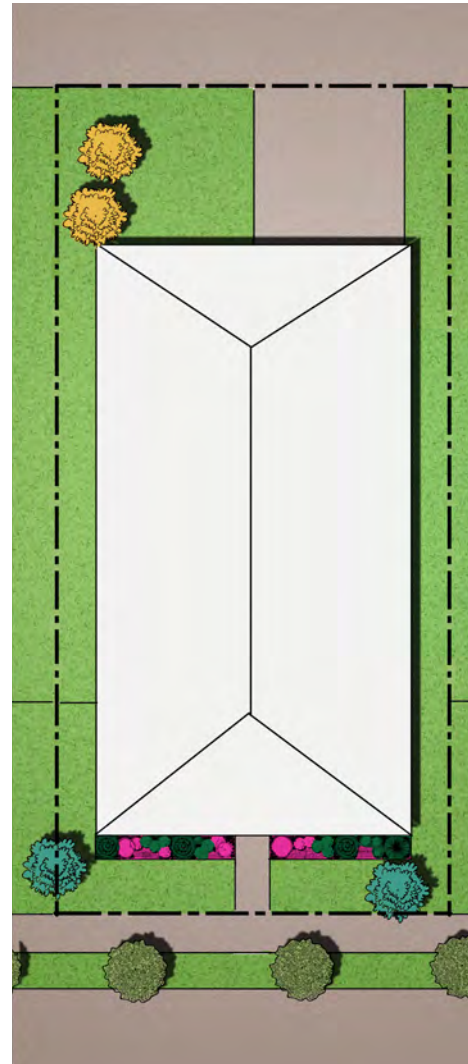


## 2.2 LOT LANDSCAPE





50' Front Loading



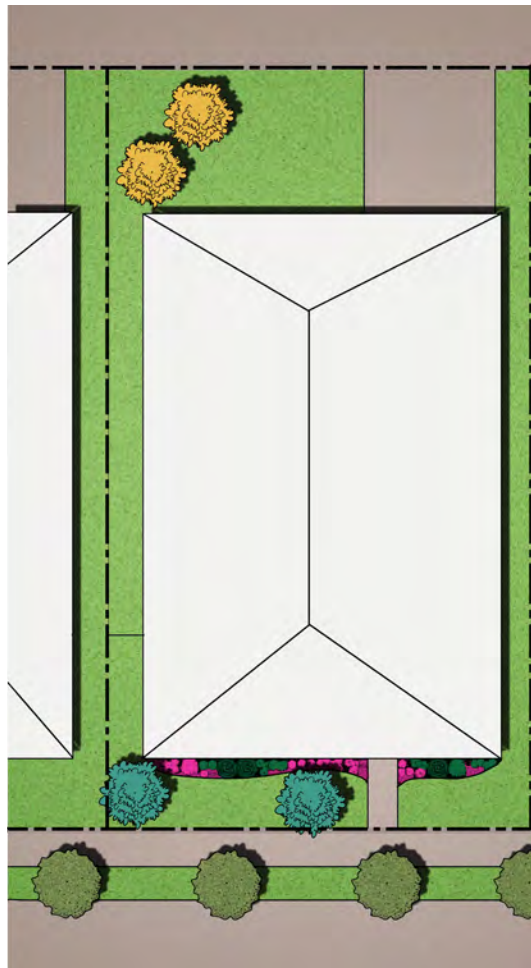
50' Rear Loading

The minimum landscape requirement for lots over 50 foot residential lot is 2 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs. Any lot over 50 foot and on the corner must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

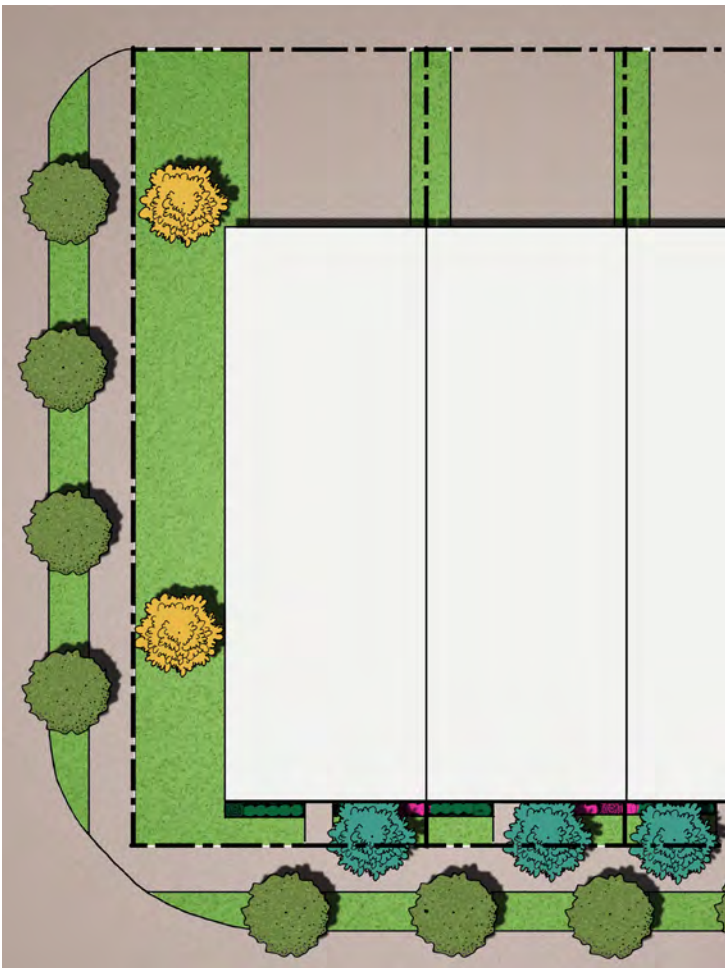
- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees







60' Front Loading



Townhomes

The minimum landscape requirement for a lots under 40 foot residential lot is 1 large shade tree, 2 five gallon shrubs, and 6 one gallon shrubs. Any lots under 40 foot and on the corner must have the following additional requirement, 1 large shade tree, 4 five gallon shrubs, and 12 one gallon shrubs.

- Enhanced Shrubs
- Required Shrubs
- Enhanced Trees
- Required Trees
- Street Trees







## SECTION 3 ARCHITECTURAL STANDARDS

3.1 NEIGHBORHOOD DIVERSITY

3.2 FACADE & MATERIALS

3.3 WINDOWS

3.4 DOORS & ENTRANCES

3.5 ROOF ELEMENTS

3.6 CHIMNEYS

3.7 GARAGE

3.8 MAILBOXES & ADDRESSING

3.9 CONCEPTUAL ELEVATIONS





### Architectural Diversity for Single Family Detached

In order to promote architectural diversity within the neighborhoods, facade elements should vary from house to house. By highlighting variations of the following architectural elements each neighborhood will seem unique in nature. For complete understanding of the builder's elevation please refer to the detailed site plan.

- Balcony
- Front Porch
- Chimney
- Patio Courtyard
- Masonry, stone, or cast stone accents
- Double entry doors
- Covered entry
- Dormers
- Cedar shutters
- Natural stone (25% front facade)
- 10:12 or greater roof pitch
- Gables with architecture feature
- Arch top windows
- Circle top windows
- Stained wood columns



## 3.1 NEIGHBORHOOD DIVERSITY





### Building Facade

Residential facades should include characteristics consistent with the overall theme. Facades should be articulated and include a combination of materials or architectural accents to look inviting from the street. Most homes in Mercer Crossing are rear-entry, which allows the garage door to be hidden from the street and enhances the overall appearance of the front facade.

### Facade Materials

Materials for the residential facades shall be predominately masonry, which includes a combination of brick, stone, or stucco. A variety of brick and stone patterns can be incorporated into each facade to create architectural interest. Soldier course and herringbone are just a couple of brick patterns that may be used in a facade. A variety of stone patterns, such as split-face, rectilinear, or stacked stone, can also be used to compliment and enhance the architectural style of a home. The use of stucco shall be cementitious plaster with a smooth finish. A combination of these masonry materials shall make up at least 75% of the facade area.

Secondary materials may include hardi-plank, provided that it is no more than 25% of the facade. Accent materials may be used for up to 5% of the facade and include a variety of materials for architectural elements such as trim, soffits, eaves, lintels, shutters, and cornices. Other materials may include pre-cast masonry or gypsum reinforced fiber concrete. Wood or faux wood may also be used for trim, eaves, soffits, eave brackets, and shutters to accentuate the Texas Tudor theme and may be used up to 25% of the facade for this purpose.

Architectural elements such as clipped gables, half timbering, columns, and arched windows are encouraged for the residential street-facing facades. Elements such as these contribute to the overall community theme and unify the neighborhoods with consistency, and also provide an upscale feeling.





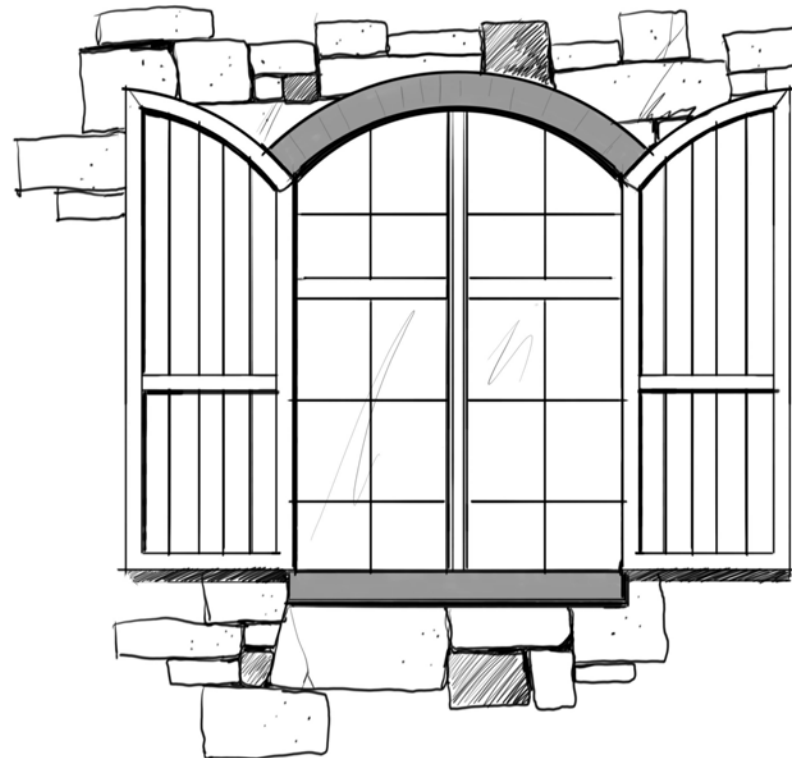
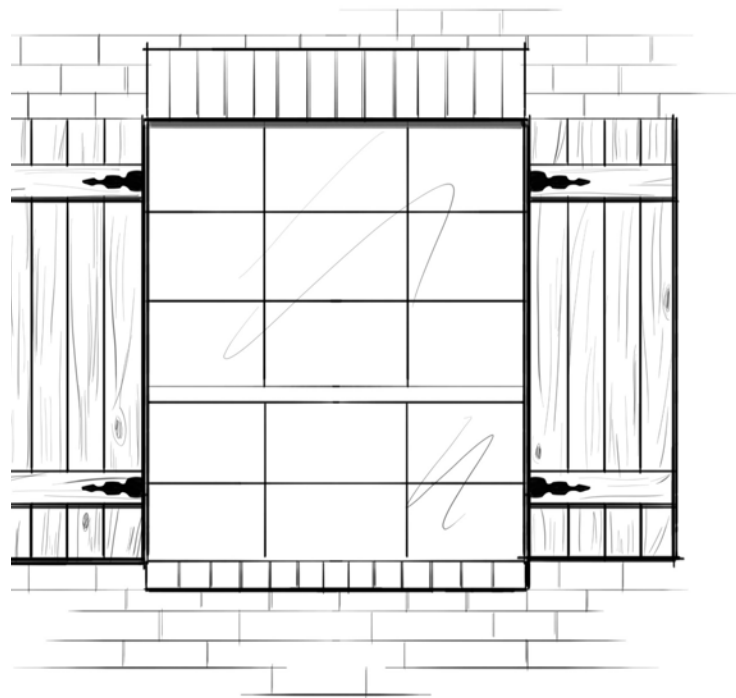
A variety of window styles may be used to reinforce the architectural theme. Examples that are highly indicative of the Texas Tudor theme include windows with an eyebrow arch made of brick soldier course or windows with shutters. Dormers projecting through the roof are also indicative of the community theme, and may be constructed of a different facade material to be more decorative.

Windows shall be appropriately scaled on the facade. The horizontal dimension of the window opening shall not exceed the vertical dimension, except that a maximum of five windows may be mulled together to form a compound window. This compound window may be wider than it is tall as long as each window is separated by a mullion, column, pier, or wall section.

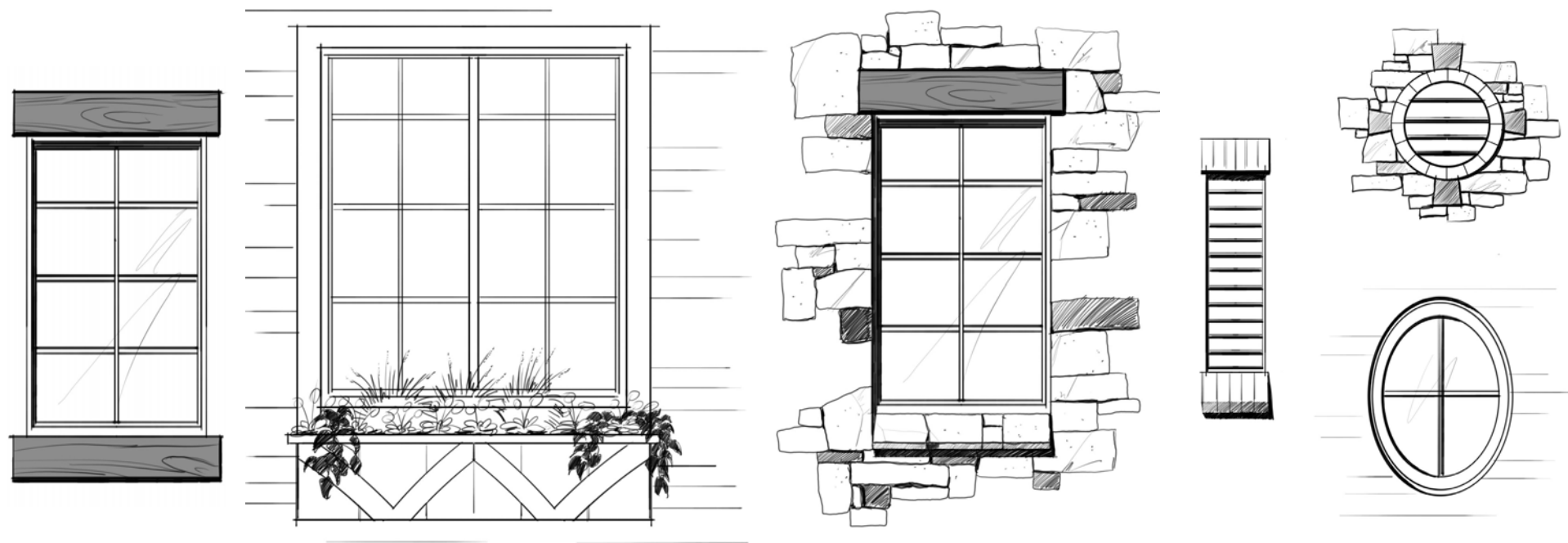
The use of window panes is encouraged. Raised or internal muntins and a variety of patterns such as England, colonial, or diamond. The casing and mullions should consist of earth tone colors and should frame the windows in such a way as to make them stand out.

Window canopies and awnings may be used to accentuate the window and may consist of metal, tile, slate or shingled roofing. Mansard style window awnings, the use of bay windows, and canopies help break up the facade plane, enhance architectural quality, and give the homes character.

The use of window screens is allowed provided that the color of the screen is black or gray. Solar screens are not allowed on a facade that faces a public space, including streets, alleys, or parks. Specialty windows, like stained-glass, opalescent, or glass block, can be incorporated into the design.







### 3.3 WINDOWS





## Doors

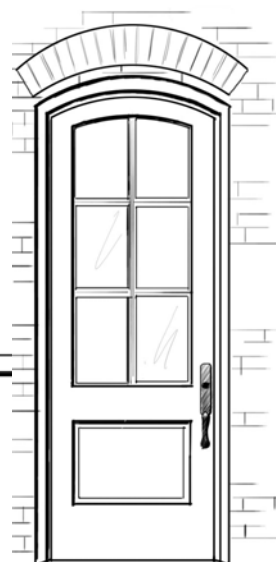
Front doors that face the street may be wood or consist of a wood simulation material. There shall be at least two door panels. Doors may predominantly consist of glass or opalescent glass. The use of iron or metal accents is encouraged on doors that are mostly glass to enhance the residential architectural style.

Painted doors are allowed provided that the color is consistent with the theme. The use of earth tone colors on front doors is encouraged.

## Entrances

Residential entries should be sheltered with a porch, canopy, or awning, and should be distinguishable from the street. A sidewalk from the street to the front door shall be provided so that residents and visitors can park on the street and walk to the front door with ease. In some cases, a stoop may be necessary.

The porch floor may consist of either brick, concrete, or stamped and stained concrete. Porch lights are important to emphasize the entrance, and may include lights inside the porch area that are mounted to the ceiling, or wall sconces. Gutters are required on sloped roof entrances.



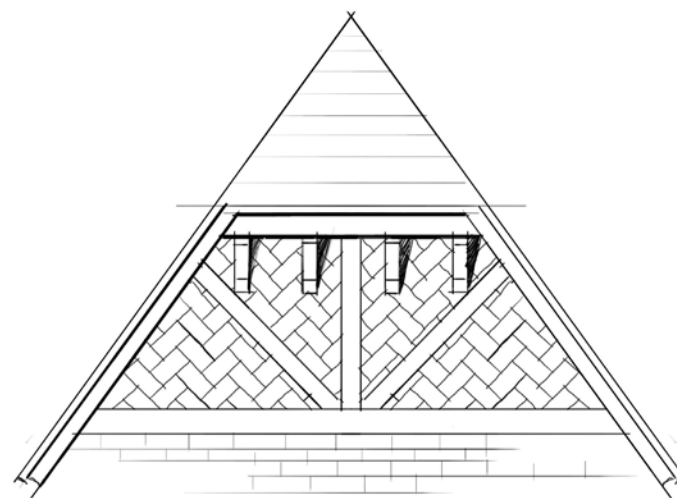
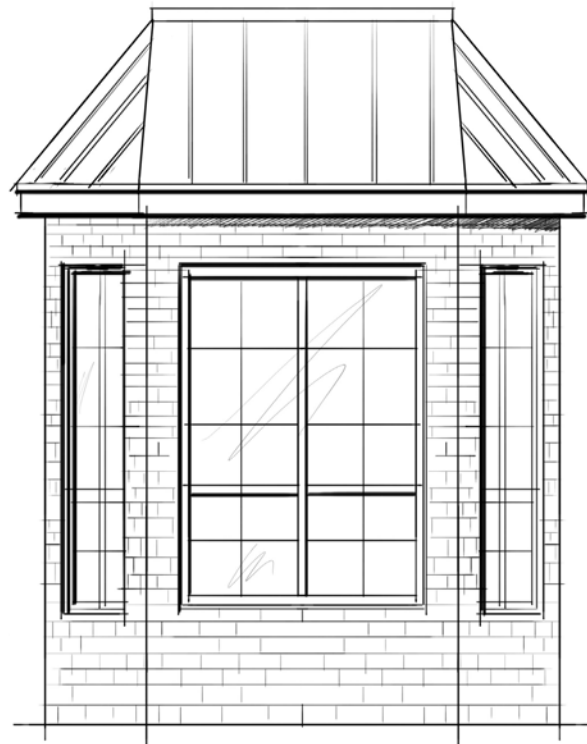
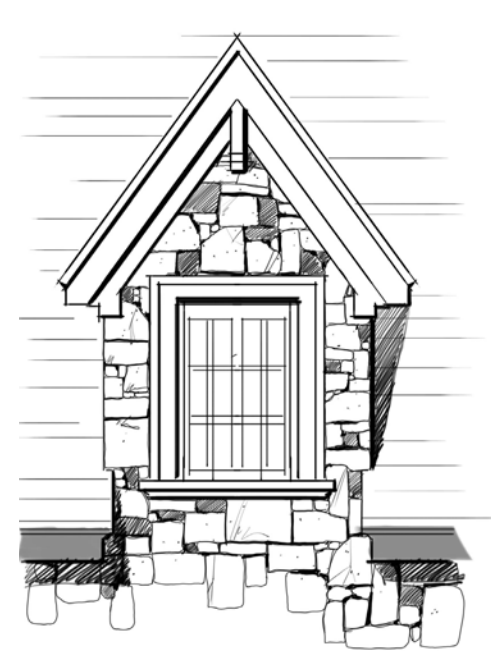
## 3.4 DOORS & ENTRANCES





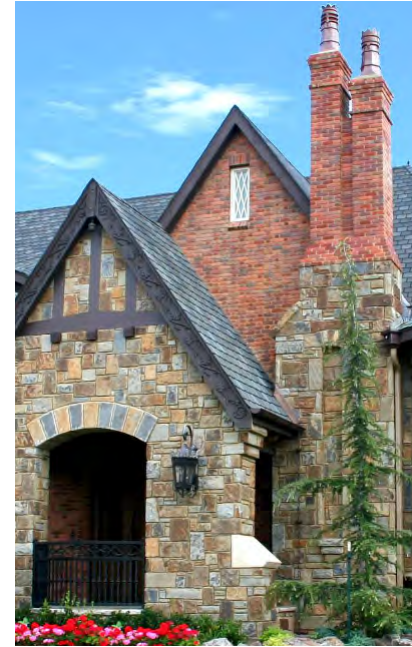
Residential roofs should include a variety of pitched roofs with hip and gable styles at symmetrical slopes of 8:12 or greater. Steep roofs are encourage to reinforce the architectural theme. Flat roofs may be used on attached homes provided that a parapet is include to so that the roof is not visible from the ground.

Roofs should consist of one dominant material with accent roof materials used on canopies or awnings. Materials may include asphalt shingles (at least 30 year composition), or tile (clay or concrete). Metal standing seam may be used on canopies for porches, windows, and accent roofs. Cornices, soffits, eaves, and eave brackets may be wood, metal, or Hardi-plank. Clipped gables may be included to enhance the architectural theme. Half timbering may also be used in gables to create the English look and feel. Dormers and chimney chases shall consist of masonry or Hardi-plank. Fireplace flues shall be enclosed in a finish that compliments the architectural style of the home.

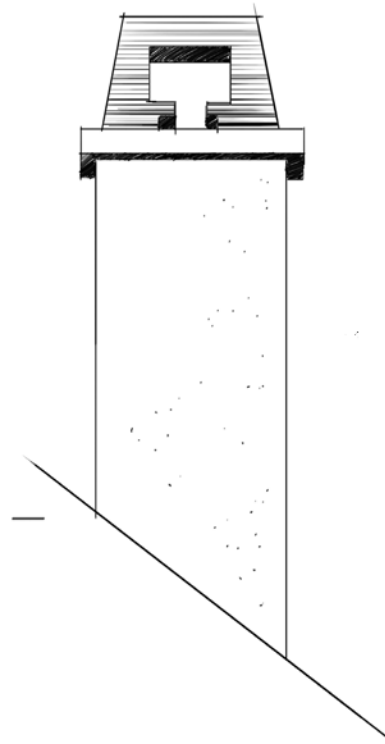
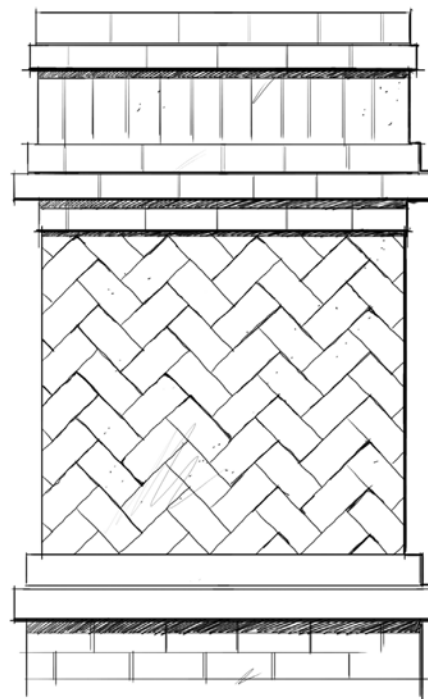
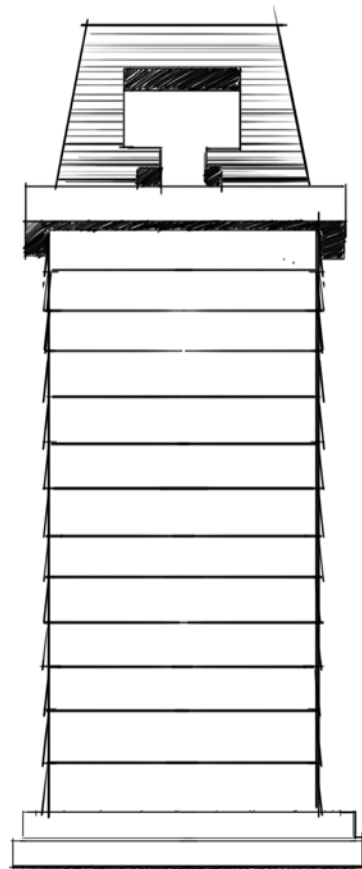
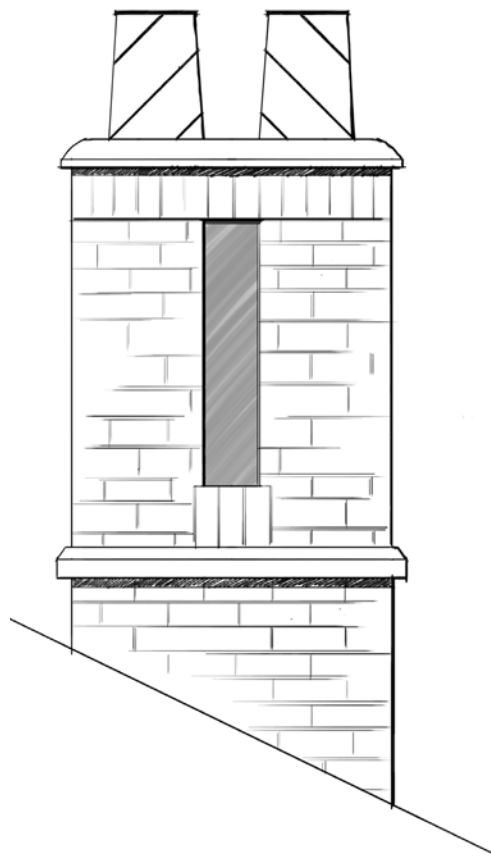


## 3.5 ROOF ELEMENTS





A key element of the Texas Tudor style is the added character that comes from the elaborate chimneys. As shown to the left, chimneys shall be constructed of stone or masonry, and all chimneys should depict the Tudor style as shown in the provided example photos. The use of decorative terra cotta chimney pots is highly encouraged to enforce the architectural style, but not required.



## 3.6 CHIMNEYS



### Rear Entry Examples



### Front Entry Examples



Creating an attractive, high-quality streetscape encourages pedestrian activity and promotes a sense of community among residents. In order to enhance the overall appearance of the neighborhoods and emphasize pedestrian entries to the home, garage doors are subject to the following restrictions:

1. Rear-loading garage doors shall be decorative aluminum or real wood cedar veneer.
2. Front-loading garage doors shall be real wood cedar veneer.
3. Front-loaded garages must be recessed a minimum of 5 feet from the front facade, unless the garage is perpendicular to the street (j-swing).

Additionally, elements such as decorative metal hinges and door handles may be used to enhance the Texas Tudor theme.







In all residential areas USPS-approved cluster mailboxes shall be used. Mailboxes should be cohesive in material in that they reflect the Texas Tudor design theme. Acceptable materials and color palettes can be found the attached appendix.

All mailboxes locations are subject to approval by the U.S. Postal Service and can be found on the detailed site plan.





The brick detailing and standing seam accents make this a great rear entry example.



The above image sets an ideal standard for the Texas Tudor Design theme. The chimney detail, brick patterns, and color palette are all strong architectural elements.



The image above is an excellent variation of the top left elevation. By varying colors of materials the same look can easily be accomplished.



In this image the half timbering and multi-paned windows are the highlighted Texas Tudor elements to replicate.



### 3.9 CONCEPTUAL ELEVATIONS





There are very few front entry lots in Mercer Crossing, but this is a prime example to be used. The brick details, half timbering inlay reinforce the Texas Tudor style.



The multiple Texas Tudor elements include: eyebrow windows, cedar shutters, herringbone brick details, and native building materials.



This is another great front entry elevation. The intricate detail on the chimney and the use of native materials are the very definition of Texas Tudor.



The above townhome elevation includes Standing seam accents, multi-paned windows, half timbering, and an acceptable color palette.



## 3.9 CONCEPTUAL ELEVATIONS





## SECTION 5 APPENDIX

5.1 PLANT PALETTE

5.2 SHINGLE PALETTE

5.3 BRICK PALETTE

5.4 STONE PALETTE

5.5 SHEET METAL PALETTE

5.6 EXTERIOR PAINT PALETTE





Thornless Honey Locust  
*Gleditsia triacanthos*



Chinese Pistache  
*Pistacia chinensis*



Shumard Oak  
*Quercus shumardi*



Red Oak  
*Quercus buckleyi*



Chinquapin Oak  
*Quercus muhlenbergii*



Live Oak  
*Quercus virginia*



Lacebark Elm  
*Ulmus parvifolia*



Cedar Elm  
*Ulmus crassifolia*



Pecan  
*Carya illinoensis*



Pond Cypress  
*Taxodium ascendens*



Bald Cypress  
*Taxodium distichum*





ORNAMENTAL TREES



Texas Red Bud  
*Cercis Canadensis var. Texensis*



Crepe Myrtle  
*Lagerstromia Indica -all varieties*



Magnolia  
*Magnolia grandiflora*



Bur Oak  
*Quercus macrocarpa*



Vitex  
*Vitex angus-castrus*



Desert Willow  
*Chilopsis linearis*



Yopaun  
*Ilex vomitoria -all varieties*



Caddo Maple  
*Acer saccharum*





LARGE SHRUBS



Blue Point Juniper  
*Juniperus chinensis*



Taylor Juniper  
*Juniperus virginiana 'Taylor'*



Skyrocket Juniper  
*Juniperus scopulorum 'Skyrocket'*



Nellie Stevens Holly  
*Ilex Nellie R Stevens*



Fosters Holly  
*Ilex x attenuata 'Fosteri'*



Burford Holly  
*Ilex cornuta -all varieties*



Abelia  
*Abelia gradniflora*



Forsythia  
*Forsythia x intermedia 'Kolgold'*





SMALL SHRUB



Indian Hawthorn  
*Raphiolepis indica*



Burford Holly  
*Ilex cortuna burfordii nana*



Texas Sage  
*Leucophyllum F. Silverado*



Rose of Sharon  
*Hibiscus Syriacus*



Flowering Quince  
*Chaenomeles japonica*



Lemon Lime Nandina  
*Nandina domestica 'lemon lime'*



Carissa Holly  
*Ilex cortuna 'Carissa'*



Boxwood  
*Buxus sempervirens*



Rosemary  
*Rosmarinus officinalis*



Dwarf Wax Myrtle  
*Myrica cerifera*



Barberr  
*Berberis -all varieties*



Spirea  
*Spirea japonica*





VINES



Coral Honeysuckle  
*Lonicera sempervirens*



Carolina Jasmine  
*Gelsemium sempervirens*



Boston Ivy  
*Parthenocissus tricuspidata*



Cross Vine  
*Anisostichus carpreolata*



Clematis  
*Clematis* -all varieties



Evergreen Wisteria  
*Millettia reticulata*





GROUND COVERS



Asian Jasmine  
*Trachelospermum asiaticum*



Liriope  
*Liriope gigantea*



Mondo  
*Dwarf lilyturf*



Purple Pixie Fringe Flower  
*Loropetalum chinense*



Moneywort  
*Lysimachia nummularia*



Vinca  
*Vinca minor*



Bar Harbor Juniper  
*Juniperus horizontalis 'Bar Harbor'*



Blue Pacific Shore Juniper  
*Juniperus conferta 'Blue Pacific'*





ORNAMENTAL GRASSES



Gulf Muhly  
*Muhlenbergia capillaris*



Blue Grama Grass  
*Bouteloua gracilis*



Karl Foerster Grass  
*Calamagrostis x acutiflora*



Javelin Rush  
*Juncus pallidus*



Little Bluestem  
*Schizachyrium scparium*



Northwind Switch Grass  
*Panium virgatum 'Northwind'*



Inland Sea Oats  
*Chasmanthium latifolium*



Weeping Love Grass  
*Eragrostis curvula*



Sideoats Gramma  
*Bouteloua curtispindula*



Dwarf Maiden Grass  
*Miscanthus sinensis*



Mexican Feather Grass  
*Nassella tenuissima*





PERENNIALS



Autumn Sage  
*Salvia greggii*



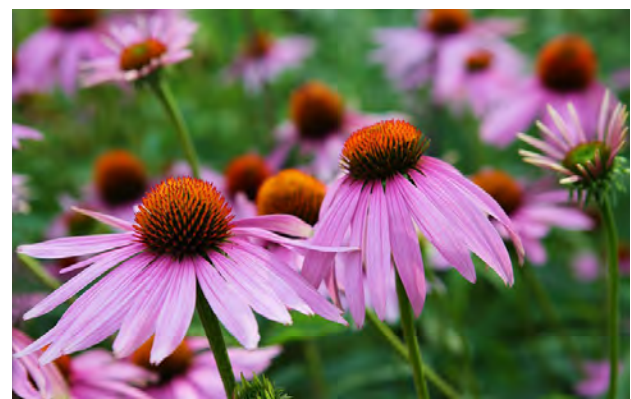
Butterfly Bush  
*Buddleja*



Lamb's Ear  
*Stachys byzantina*



Turk's Cap  
*Malvaviscus arboreus*



Purple Coneflower  
*Echinacea purpurea*



Blackfoot Daisy  
*Melampodium leucanthum*



Dotted Gayfeather  
*Liatris punctata*



Tickseed  
*Coreopsis* -all varieties



Russian Sage  
*Perovskia atriplicifolia*



Gaura  
*Oenothera lindheimeri*



Daylilies  
*Hemerocallis* -all varieties



Artemisia  
*Artemisia tridentata*



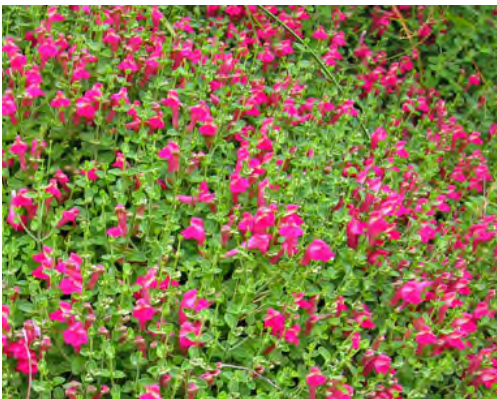
Blackeyed Susan  
*Rudbeckia hirta*



5.1 PLANT PALETTE



PERENNIALS



Pink Skullcap  
*Scutellaria suffrutescens*



English Lavendar  
*Lavandula angustifolia*



Lavendar Cotton  
*Santolina chamaecyparissus*



Shasta Daisy  
*Leucanthemum x superbum*



Mexican Hat  
*Ratibida columnifera*



Texas Lantana  
*Lantana urticoides*



White Mistflower  
*Ageratina hvonensis*







Adobe Clay



Golden Harvest



Autumn Harvest



Stonewood



Mesa Brown



Dusky Gray



Mission Brown



Barkwood

\*\*All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.2 SHINGLE PALETTE





Old Denver



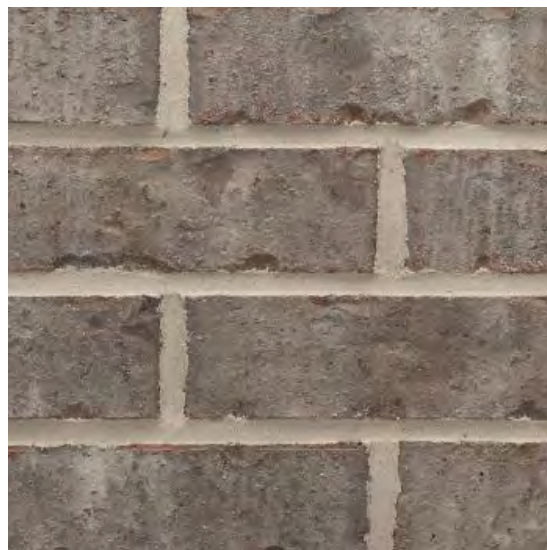
Cedar Valley



Olde Towne



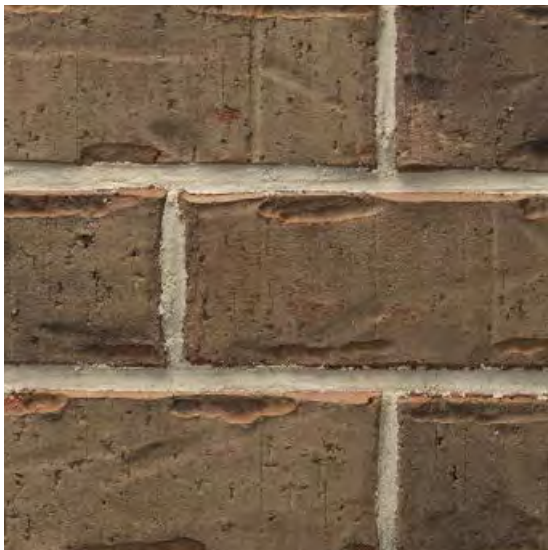
Ole South



Pine Ridge



Alton Bridge



Ross Ridge



Burgundy



Torrington



Windermere

\*\*All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 BRICK PALETTE





Blue Brown Mill Ends



Blue Hachett Chop



Double Blue Gray Chopped



Golden Canadian



Sunray Tumbled



Sugarloaf Random



Blue Brown Wister Mix



Grayson Multi-height Tumbled

\*\*All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.

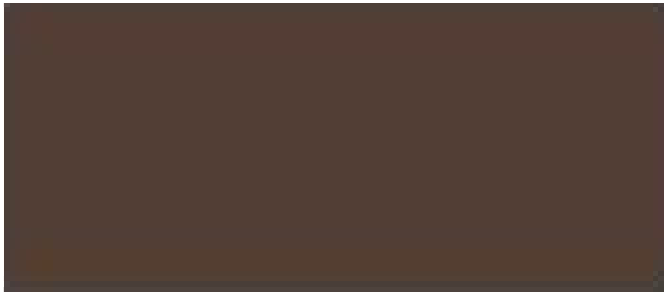


5.1 STONE PALETTE





Burnished Slate



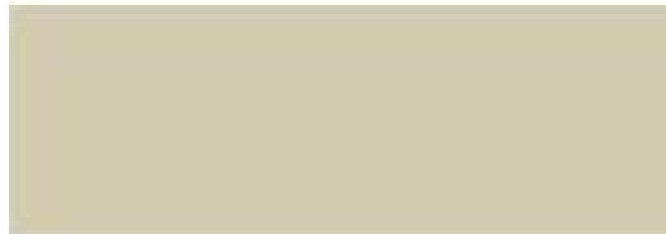
Koko Brown



Medium Bronze



Charcoal Gray



Light Stone

\*\*All swatches acquired from local manufacture, and serve as a color guide only. Any substitutions must be approved by the ARC.

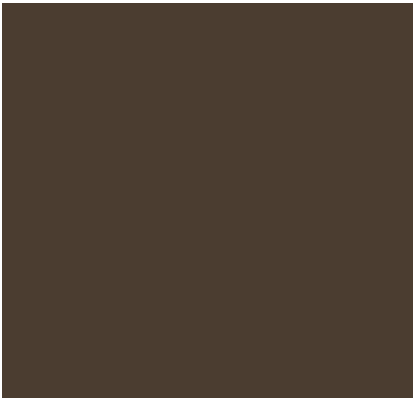


## 5.1 STANDING SEAM METAL PALETTE





Bamboo Shoot



Dark Clove



Foothills



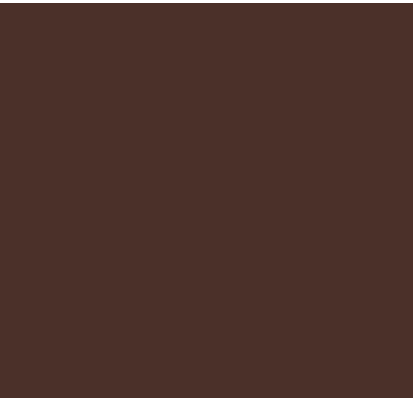
Herbal Wash



Leather Bound



Zeus



Ligonier Tan



March Wind



Messenger Bag



Mossy Gold



Pier



Thunder Gray



Portabello



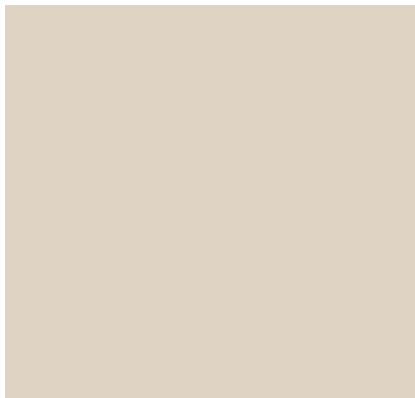
Prairie grass



Rock Bottom



Stonebriar



Natural Linen



Willow Tree

\*\*All swatches acquired from Sherwin Williams, and serve as a color guide only. Any substitutions must be approved by the ARC.



5.1 EXTERIOR PAINT PALETTE