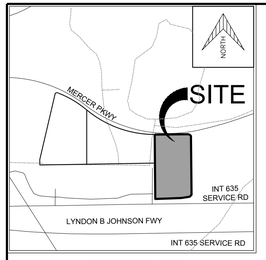


LOCATION MAP

SCALE: 1"=1000'

GENERAL SITE NOTES

1. CONTRACTOR SHALL COMPLY WITH THE CITY BUILDING CODE AND REGULATIONS AND APPLICABLE TECHNICAL SPECIFICATIONS IN THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY," AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS APPLICABLE TO THIS PROJECT.

2. CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.

3. LOCATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON A COMBINATION OF FIELD SURVEYING AND AVAILABLE UTILITY MAPS. CONTRACTOR TO DETERMINE VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES (WHETHER SHOWN ON PLANS OR NOT) BY COORDINATING WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO CONSTRUCTION. THE FOLLOWING ARE NUMBERS OF THE RESPECTIVE AGENCIES:

TESS-STATEWIDE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. . . 1-800-DIG-TESS

IF ANY NUMBER HAVE CHANGED OR ARE INCORRECT, THE CONTRACTOR IS STILL RESPONSIBLE FOR CONTACTING THE AGENCIES.

4. REMOVE ALL ASPHALT AND CONCRETE WITH A SMOOTH SAW-CUT.

5. COMPACT ALL PAVEMENT SUBGRADE TO 95% MAXIMUM DRY DENSITY. COMPACT AREAS TO RECEIVE LANDSCAPING AND/OR GRASS TO 85%.

6. PRIOR TO BIDDING, THE CONTRACTOR SHALL THOROUGHLY INVESTIGATE THE SITE AND FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE SITE WHICH MAY AFFECT HIS WORK. THIS INCLUDES ACCOUNTING FOR ALL VISIBLE FEATURES WHICH MAY IMPACT THE BID OR THE WORK.

7. CONTRACTOR SHALL CAREFULLY DEMOLISH AND REMOVE ALL ITEMS (ABOVE AND BELOW GROUND) AS REQUIRED TO CONSTRUCT THE PROJECTS AS SHOWN. ALL REMOVAL AND DISPOSAL ACTIVITIES MUST COMPLY WITH APPLICABLE CODES, LAWS AND ORDINANCES.

8. REMOVE AND DISPOSE OF ALL EXCESS EXCAVATION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL VERTICAL AND HORIZONTAL CONTROL.

10. BASE MATERIAL AND INSTALLATION TO BE IN CONFORMANCE WITH ITEM 247 (TxDOT. STD. SPECS. LATEST ED.). TYPE A GRADE 2. COMPACT TO 95% MAXIMUM DRY DENSITY OF THE MODIFIED PROCTOR OR 98% MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR.

11. LIME STABILIZED SUBGRADE SHALL BE COMPACTED WITHIN 3% OF OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR.

12. PRIME COAT MATERIAL AND INSTALLATION TO BE CUT-BACK ASPHALT TYPE IN ACCORDANCE WITH ITEM 310 (TxDOT. STD. SPECS. LATEST ED.) (0.2 GAL/S.Y.).

13. ALL ASPHALT MATERIAL AND INSTALLATION TO COMPLY WITH ITEM 340 TYPE "C" (TxDOT. STD. SPECS. LATEST ED.).

14. WHEELSTOPS SHALL BE OF PRE-CAST CONCRETE AND 6' IN LENGTH. DOWEL PRE-CAST CONCRETE WHEEL STOPS A MINIMUM OF 12" INTO BASE AND PAVEMENT.

15. CONTRACTOR TO FULLY COOPERATE WITH PARKING LOT LIGHT CONTRACTOR.

16. ALL SITE CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED. ALL MATERIALS AND METHODOLOGIES USED SHALL CONFORM WITH ITEM 360 (TXDOT. STD. SPECS. LATEST ED.)

17. FOR ALL STRIPING AND TRAFFIC CONTROL MARKINGS, CONTRACTOR TO USE GLIDDEN TRAFFIC PAINT #63228 OR SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING PAINT (SERIES B29W1). COLOR IS WHITE. APPLY TWO COATS.

18. INSTALL "NO PARKING - FIRE LANE" SIGNS IN ACCORDANCE WITH THE FIRE MARSHALL'S REQUIREMENTS. PAINT CURBS AS REQUIRED BY FIRE MARSHALL.

19. DIMENSIONS ARE TO THE PAVEMENT EDGE OF THE CURB, FACE OF BUILDING OR PROPERTY LINE, OR STRIPING CENTERLINE.

20. THE CONCRETE DRIVE APPROACHES WITHIN CITY RIGHT-OF-WAY ARE SUBJECT TO CITY INSPECTION.

21. MAXIMUM SIDEWALK CURB CONTROL JOINT SPACING IS 5 FEET.

22. MAXIMUM SIDEWALK CURB EXPANSION JOINT SPACING IS 40 FEET.

23. CONTRACTOR MUST KEEP ALL PERMITS ON JOB SITE.

24. ALL EXISTING SIGNS AND BENCHES (WHETHER SHOWN ON PLANS OR NOT) WHICH CONFLICT WITH CONSTRUCTION SHALL BE RELOCATED.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING EXISTING SPRINKLER SYSTEM COMPONENTS WHICH CONFLICT WITH CONSTRUCTION.

26. PROPOSED CURBING TO BE TRANSITIONED SMOOTHLY TO MATCH EXISTING.

27. THE CONSTRUCTION SITE IS TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO ISSUANCE OF PAYMENT BY THE OWNER.

28. CONTRACTOR SHALL INCLUDE ALL COSTS FOR ROUTING PEDESTRIAN AND VEHICULAR TRAFFIC IN THE BID AMOUNT. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CURRENT LEASE HOLDER IN ORDER TO INSURE CONVENIENT ACCESS.

29. DASHED LINES REPRESENT EXISTING IMPROVEMENTS.

30. P.C. = POINT OF CURVATURE, P.R.C. = POINT OF REVERSE CURVATURE, P.T. = POINT OF TANGENCY, P.C.C. = POINT OF COMPOUND CURVATURE.

31. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATION. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

32. REFERENCE DETAILS FOR HANDICAP SIGNAGE.

33. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND GENERALLY BE LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT AND TO ASSURE AN EXPEDITIOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.

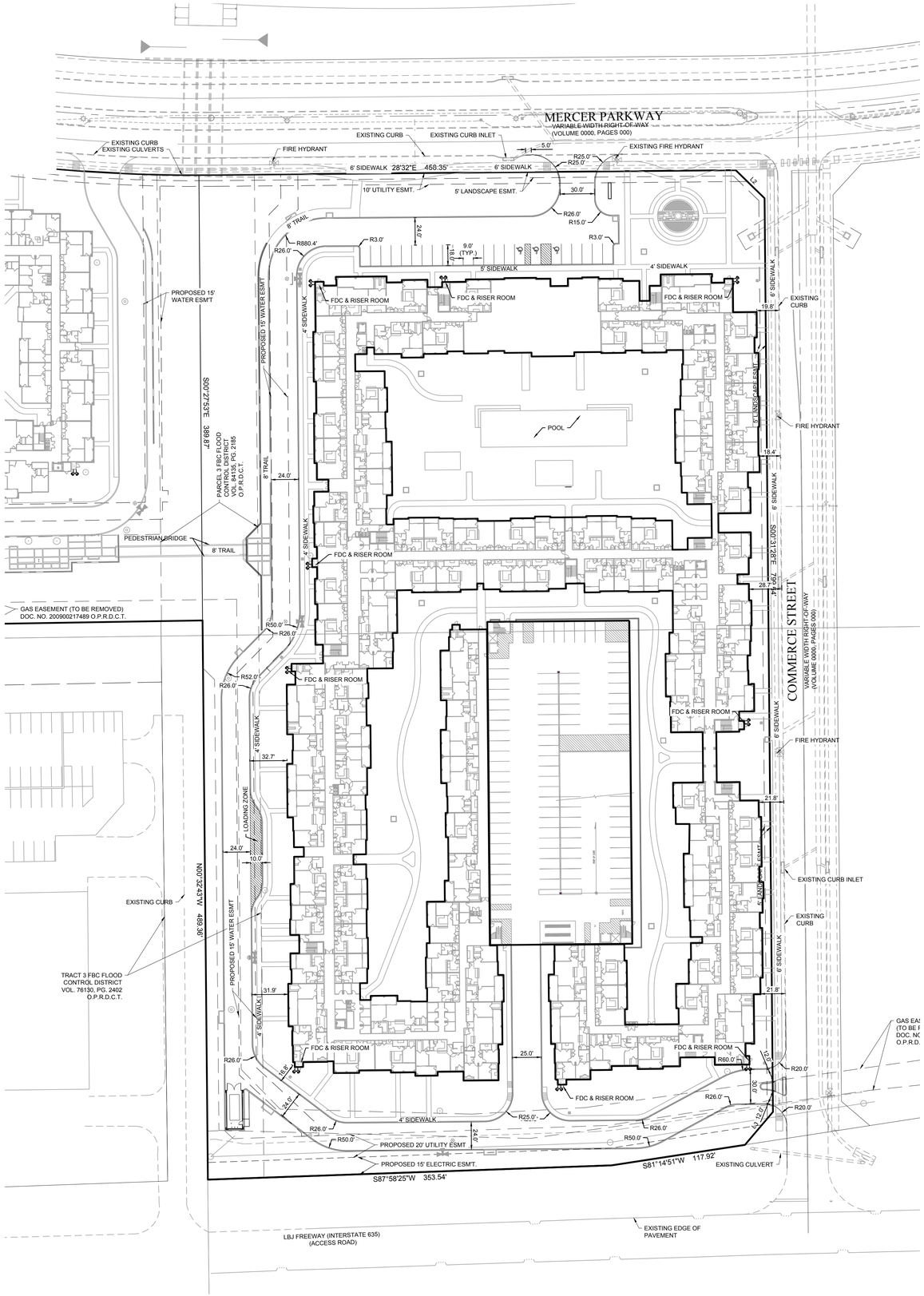
34. ITEMS OF WORK NOTED "BY OTHERS" SHALL BE CONSIDERED AS NOT PART OF THIS CONTRACT.

35. THE CONTRACTOR SHALL COORDINATE (WITH OWNER/ARCHITECT) WHICH TREES ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ACCORDINGLY AND PROVIDE WATER AS REQUIRED.

36. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.

37. IN CASES WHERE HYDROMULCH HAS BEEN PROPERLY APPLIED, CONTRACTOR TO PROVIDE WATER AS REQUIRED TO ACHIEVE A MINIMUM OF 75% GERMINATION TOWARDS SUBSTANTIAL GROWTH.

38. PEDESTRIAN RAILING OR FENCING SHALL BE INSTALLED ALONG ALL RETAINING WALLS OR VERTICAL DROPS GREATER THAN 24". CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR LANDSCAPE ARCHITECT FOR DESIGN AND SPECIFICATIONS. ANY RAILING REQUIRED CLOSER THAN 10' TO A DRIVE LANE OR PARKING SPACE MAY NEED TO BE A TRAFFIC BARRIER. CONTRACTOR TO COORDINATE WITH ENGINEER.



Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Length
C1	466.97'	1350.00'	19°49'08"	235.84'	N 59°51'38" W	464.65'
C2	1026.80'	1450.00'	40°34'25"	535.99'	N 70°14'16" W	1005.48'

Line Table		
Line #	Bearing	Length
L1	N 63°54'13" E	22.43'
L2	S 45°43'41" E	35.23'
L3	S 40°21'42" W	37.80'
L4	N 00°55'53" W	71.20'

NORTH

SCALE: 1" = 50'

50 0 25 50 100

LEGEND

- PROPOSED CONCRETE HEADER CURB
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
- MISC. TRAFFIC SIGN
- GUARD POST
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- LIGHT POLE
- POWER POLE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- GRATE
- TRAFFIC LIGHT
- GUY WIRE ANCHOR
- ACCESSIBLE PARKING
- DETAIL REFERENCE — DETAIL / SHEET NUMBER
- EXISTING CONCRETE AREAS
- WHEELSTOP
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC
- RETAINING WALL (REF. STRUCTURAL DWGS)
- SAWTOOTH CURB
- SINGLE LAMP LIGHT POLE
- DOUBLE LAMP LIGHT POLE
- WALL STACK

SITE CONCRETE DRAINAGE NOTES:

1. EXPOSED CONCRETE SURFACES SHALL BE BROOM FINISHED.

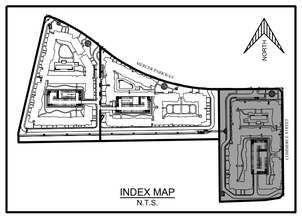
2. ANY IRREGULAR AREA SHALL BE HAND RUBBED TO A SMOOTH FINISH.

3. ALL EXPOSED EDGES SHALL RECEIVE A 3/4" CHAMFER.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE DONE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS, AS WELL AS ITEM 360 (TXDOT STD SPECS, LATEST ED.)

5. JOINTS TO BE COMPLETED PRIOR TO CONCRETE SHRINKAGE OCCURRING.

PARKING SUMMARY TABLE			
UNIT TYPE	# OF UNITS	PARKING RATIO	REQUIRED
1 BEDROOM	272	1.6	435
2 BEDROOM	92	1.6	147
3 BEDROOM	20	1.75	35
4 BEDROOM	20	2	40
REQUIRED PARKING		TOTAL	657
		GARAGE	526
PARKING PROVIDED		SURFACE	22
		GARAGE	657
		TOTAL	679



INDEX MAP
N.T.S.

TOWERS AT FARMERS BRANCH

28-Apr-17

UNIT MIX									16039
		UNIT TYPES	1 BEDROOM		2 BEDROOM		3 BEDROOM	4 BEDROOM	
BUILDING TYPE	NO. OF BLDGS.	FLOOR	A1	A2	B1	B2	C1	D1	TOTAL UNITS
T-1	1	1	27	39	8	14	5	5	98
		2	27	39	8	14	5	5	98
		3	30	40	10	14	5	5	104
		4	30	40	10	14	5	5	104
		TOTAL	114	158	36	56	20	20	
TOTALS	1	TOTAL	114	158	36	56	20	20	404
			28.2%	39.1%	8.9%	13.9%	5.0%	5.0%	100.0%
			67.3%		22.8%		5.0%	5.0%	

UNIT	A1	A2	B1	B2	C1	D1	TOTAL AREA:
AREA	719	804	1,043	1,249	1,550	1,869	
QTY.	114	158	36	56	20	20	
AREA PER UNIT TYPE	81,966	127,032	37,548	69,944	31,000	37,380	384,870
OVERALL GROUND LEVEL BUILDING S.F.:							147,602

PRIMARY CONTACT:
ROGER GUNDERMAN, P.E.

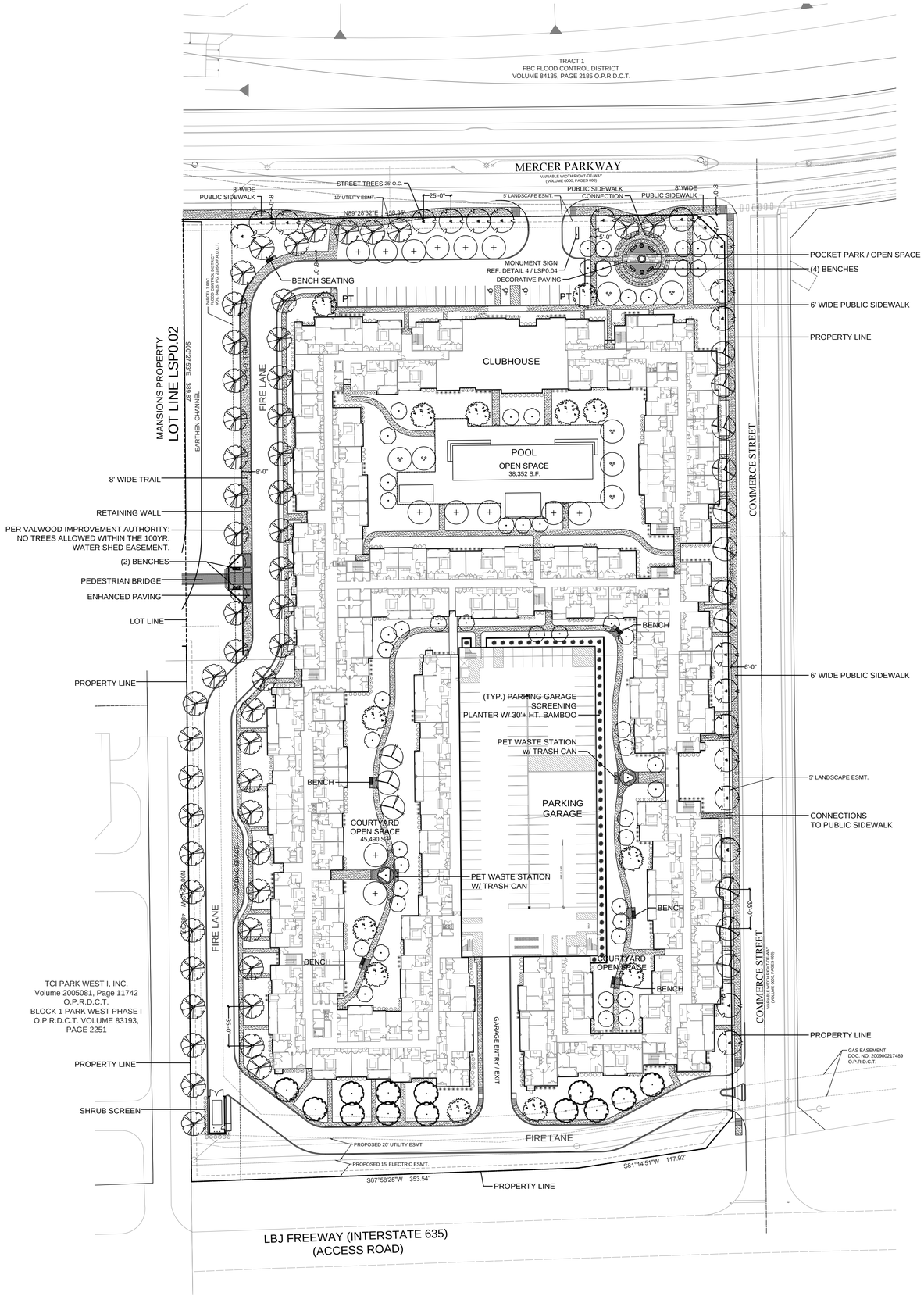
MACINA • BOSE • COPELAND & ASSOC., INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
1035 Central Parkway North, San Antonio, Texas 78232
(210) 545-1122 Fax (210) 545-9302 www.mbceng.com
FIRM REGISTRATION NUMBER: T.B.P.E. F-784 & T.B.P.L.S. 10011700

TOWERS AT MERCER CROSSING
FARMERS BRANCH, TEXAS
TOWERS SITE PLAN

REVISIONS: DATE	No.	DESCRIPTION	BY

PLAT ID# -
A/P# -
DESIGN RWG
DRAWN GM
CHECKED -
DATE 09-27-16
JOB NO. 31565-DALLAS
SHT. C4 OF 9

Date: Jul 14, 2017, 3:36pm User ID: gmartin Layout: Layout3
File: P:\Dallas County\31565-Mansions & Towers at Mercer Crossing\Design\Design Civil\Towers\sh-site plan-towers-31565.dwg Layout name: Layout3



LANDSCAPE PLANT LEGEND

(TYP.) LARGE CANOPY TREES		(TYP.) SHRUBS + MISCELLANEOUS
'HIGH RISE' LIVE OAK QUERCUS VIRGINIANA 'QVTIA' 3" CAL. 12'-14' HT. QTY: 53	THORNLESS HONEY LOCUST GLEDITSIA TRIACANTHOS 'INERMIS' 3" CAL. 12'-14' HT. QTY: 14	SHRUBS & FOUNDATION PLANTING TYP: DWARF BURFORD HOLLY, NELLIE STEVENS HOLLY, FOSTERS HOLLY, BARBERRY, BOXWOOD, NANDINA, ABELIA, SPIREA
CHINQUAPIN OAK QUERCUS MUEHLENBERGII 3" CAL. 12'-14' HT. QTY: 13	PECAN CARYA ILLINOIENSIS 3" CAL. 12'-14' HT. QTY: 7	EXISTING TREE TO REMAIN
BUR OAK QUERCUS MACROCARPA 3" CAL. 12'-14' HT. QTY: 10	'ALEE' LACEBARK ELM ULMUS PARVIFOLIA 'ALEE' 3" CAL. 12'-14' HT. QTY: 21	PT — PARKING LOT TREE 1 / 15 PARKING SPACES
CHINESE PISTACHE PISTACIA CHINESIS 3" CAL. 12'-14' HT. QTY: 13	(TYP.) ORNAMENTAL TREES	
(122) TOTAL 3" TREES ON SITE	CRAPE MYRTLE LAGERSTROEMIA INDICA MULTI-TRUNK 2" CAL. 8'-10' HT. MEXICAN PLUM PRUNUS MEXICANA 2" CAL. 8'-10' HT. YAUPON ILEX VOMITORIA 2" CAL. 8'-10' HT. TEXAS REDBUD CERCIS CANADENSIS 2" CAL. 8'-10' HT. CHASTE TREE VITEX AGNUS-CASTUS 2" CAL. 8'-10' HT. LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM' 2" CAL. 8'-10' HT.	

GENERAL SITE LANDSCAPE REQUIREMENTS:

STREET TREES -

MERCER PARKWAY - MAJOR STREET

REQUIRED: 1 TREE PER MIN. 25' OF FRONTAGE = 505' / 25 = 20
505' - 34' DRIVES = 471' / 25 = 19

PROVIDED: (19) LARGE SHADE TREES PLANTED 25' O.C. ALONG MERCER PARKWAY

SIDE ACCESS ROAD - MINOR STREET (COMMERCE STREET)

REQUIRED: 1 TREE PER MIN. 35' OF FRONTAGE = 800' / 35 = 23
800 - 75 DRIVES = 725 / 35 = 21

PROVIDED: (21) 3" CAL. TREES PLANTED ALONG COMMERCE STREET

INTERIOR DRIVES / FIRE LANES - MINOR STREET

REQUIRED: 1 TREE PER MIN. 35' OF DRIVE = 1,386' / 35 = 40

PROVIDED: (40) 3" CAL. SHADE TREES PLANTED 35' O.C. ALONG INTERIOR DRIVE / FIRE LANE

OPEN SPACE / COURTYARDS

REQUIRED: MIN. 10% ALLOCATED PER LOT. 10% OF 429,937 S.F. = 42,994 S.F.

PROVIDED: 196,291 S.F. OR 46% OF SITE IS LANDSCAPED OPEN SPACE / COURTYARDS
- INCLUDING STREET-FRONT POCKET PARKS

PARKING / INTERIOR LANDSCAPE -

TOTAL SURFACE PARKING AREA: 3,564 S.F. (PARKING GARAGE NOT INCLUDED)

REQUIRED: 1 TREE PER FIFTEEN PARKING SPACES. 22 SPACES / 15 = 2 TREES

PROVIDED: 2 TREES

SCREENING

PROVIDED: ALL MECHANICAL EQUIPMENT AND PARKING AREAS TO BE SCREENED FROM PUBLIC VIEW BY DENSE EVERGREEN FOLIAGE OR OTHER APPROVED MEANS.
MIN. 36" HT. EVERGREEN SHRUBS PROVIDED

TRAIL SYSTEM / PUBLIC SIDEWALK

PROVIDED: 458 L.F. OF 8' WIDE TRAIL w/ AMENITY AREAS ALONG WESTERN PORTION OF SITE
458 L.F. OF 8' WIDE TRAIL - SIDEWALK w/ AMENITY AREAS ALONG MERCER PKWY

IRRIGATION REQUIREMENTS

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPO-TRANSPIRATION (ET) WEATHER BASED CONTROLLERS.

SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR PER STATE AND LOCAL REGULATIONS.

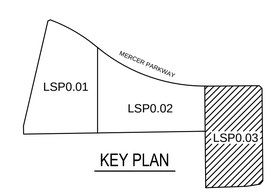
GENERAL MAINTENANCE

ALL REQUIRED LANDSCAPED AREAS SHALL BE MAINTAINED SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AND BE KEPT FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY AND WATERED REGULARLY TO ENSURE CONTINUOUS HEALTHY GROWTH. DISEASED, DEAD OR MISSING REQUIRED PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS OR LESS AS SPECIFIED BY THE CITY LANDSCAPE INSPECTOR WITH MATERIAL OF AN EQUIVALENT OR GREATER VALUE.

EXISTING TREES / MITIGATION

ALL EXISTING TREES ON-SITE TO REMAIN.

ALL TREES EXISTING NOTED ALONG THE SOUTHERN PROPERTY LINE / TRAIL SHALL REMAIN.



KEY PLAN

1 TOWERS - LANDSCAPE PLAN

SCALE: 1"=50'-0"

0 50 100
GRAPHIC SCALE IN FEET

N

ISSUES:

1	02-17-17	SITE PLAN APPROVAL
2	05-04-17	SITE PLAN APPROVAL
3	06-20-17	SITE PLAN APPROVAL
4	07-07-17	SITE PLAN APPROVAL
5	07-14-17	SITE PLAN APPROVAL

CLIENT:

W3 PROPERTIES
2505 N. STATE HIGHWAY 360
Suite 800
GRAND PRAIRIE, TX 75050
(972) 471-8700

CONTACT: MATTHEW HILES

GRAND ESTATES, MANSIONS & TOWERS AT MERCER CROSSING
FARMERS BRANCH, TEXAS

mdg landscape architects
MEEKS DESIGN GROUP, INC.
1755 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
C (214) 354-6934
hmeeks@mdgland.com

REGISTERED LANDSCAPE ARCHITECT — HOWARD LEWIS MEEKS — STATE OF TEXAS
07-14-17

ISSUE FOR SITE PLAN APPROVAL

GRAND ESTATES, MANSIONS & TOWERS AT MERCER CROSSING

FARMERS BRANCH, TEXAS

JOB NUMBER: WRP-1701, 1702, 1703

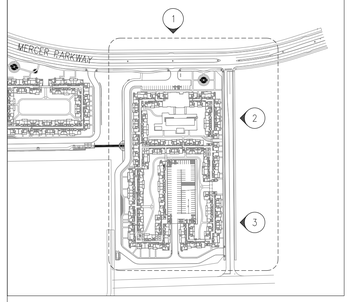
TOWERS LANDSCAPE PLAN

LSP0.03

MATERIALS LEGEND

- SOLDIER COURSE TRANSITION
- SOLDIER COURSE TRANSITION
- STUCCO WITH REVEALS
- METAL FASCIA COLOR (LIGHT)
- METAL FASCIA COLOR (DARK)
- STUCCO
- BRICK COLOR (DARK)
- BRICK COLOR (MEDIUM)
- BRICK COLOR (LIGHT)
- WINDOW & OPENING BRICK SOLDIER COURSE

KEY MAP

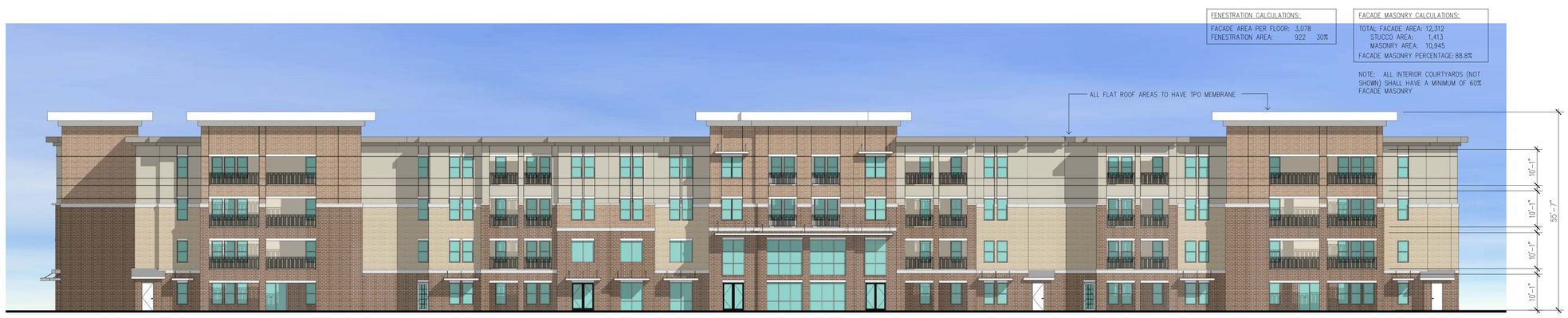


"TEXAS TUDOR STYLE" ELEMENTS:

IDENTIFYING FEATURES OF THE TEXAS TUDOR STYLE INCLUDE:
1. STYLIZED BALCONY RAILS
2. PROJECTED WALL TRIM MADE TO RESEMBLE DECORATIVE HALF-TIMBERING
3. TALL, NARROW WINDOWS, GROUPED TOGETHER
4. A VARIETY OF EXTERIOR MATERIALS ARE USED (3 COLORS OF BRICK, STUCCO, WOOD AND METAL ACCENTS)
5. FLAT ROOFS SHALL BE TPO MEMBRANE SYSTEM (TYPICAL).

COMMERCE STREET EXTERIOR ELEVATIONS – EAST (CONTINUED) SCALE: 1/16" = 1'-0" | 3

COMMERCE STREET EXTERIOR ELEVATIONS – EAST SCALE: 1/16" = 1'-0" | 2



0 16 32 64
GRAPHIC SCALE IN FEET

EXTERIOR ELEVATIONS – NORTH (MERCER PARKWAY) SCALE: 1/16" = 1'-0" | 1

Ea architects
1250 Wood Branch Park Dr
Ste 215. Houston TX 77079
Office phone 713.874.0775

GRAND ESTATES, MANSIONS & TOWERS AT MERCER CROSSING
FARMER'S BRANCH, TX

OWNER/APPLICANT:
WRIA 2017-4, L.P.

2505 N. State Highway 360, Suite 800
Grand Prairie, Texas 75050
Tel. No. (972) 471-8700
Fax (972) 471-8789
Contact: Matthew Hiles

No.	Description	Date
	SITE DEVELOPMENT PLAN REVIEW	02/17/2017
	2ND SITE DEVELOPMENT PLAN REVIEW	04/28/2017
	3RD SITE DEVELOPMENT PLAN REVIEW	06/20/2017
	4TH SITE DEVELOPMENT PLAN REVIEW	07/10/2017

WRIA 2017-4, L.P.

THE TOWERS AT MERCER CROSSING
MERCER PARKWAY
FARMER'S BRANCH, TEXAS 75087

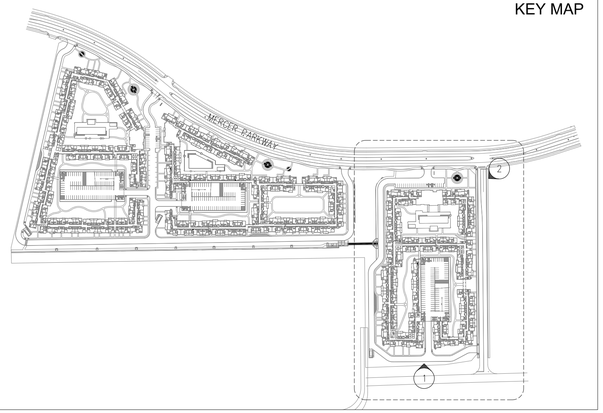
TOWERS - EXTERIOR ELEVATIONS

Project Number 16039
Date 07/10/2017

A215

Scale

KEY MAP



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MATERIALS LEGEND

- SOLDIER COURSE TRANSITION
- SOLDIER COURSE TRANSITION
- STUCCO WITH REVEALS
- METAL FASCIA COLOR (LIGHT)
- METAL FASCIA COLOR (DARK)
- STUCCO
- BRICK COLOR (DARK)
- BRICK COLOR (MEDIUM)
- BRICK COLOR (LIGHT)
- WINDOW & OPENING BRICK SOLDIER COURSE

PERSPECTIVE ELEVATION (WEST SIDE) SCALE: 1/16" = 1'-0" 2

FENESTRATION CALCULATIONS:

FACADE AREA PER FLOOR: 2,807
FENESTRATION AREA: 861 31%

FACADE MASONRY CALCULATIONS:

TOTAL FACADE AREA: 11,226
STUCCO AREA: 1,249
MASONRY AREA: 9,977
FACADE MASONRY PERCENTAGE: 88.8%

NOTE: ALL INTERIOR COURTYARDS (NOT SHOWN) SHALL HAVE A MINIMUM OF 60% FACADE MASONRY

0 16 32 64
GRAPHIC SCALE IN FEET

EXTERIOR ELEVATIONS – SOUTH SCALE: 1/16" = 1'-0" 1

Ea architects
1250 Wood Branch Park Dr
Ste 215. Houston TX 77079
Office phone 713.874.0775

GRAND ESTATES, MANSIONS & TOWERS AT MERCER CROSSING
FARMER'S BRANCH, TX

OWNER/APPLICANT:
WRIA 2017-4, L.P.

2505 N. State Highway 360, Suite 800
Grand Prairie, Texas 75050
Tel. No. (972) 471-8700
Fax (972) 471-8789
Contact: Matthew Hiles

No.	Description	Date
	SITE DEVELOPMENT PLAN REVIEW	02/17/2017
	2ND SITE DEVELOPMENT PLAN REVIEW	04/28/2017
	3RD SITE DEVELOPMENT PLAN REVIEW	06/20/2017
	4TH SITE DEVELOPMENT PLAN REVIEW	07/10/2017

WRIA 2017-4, L.P.

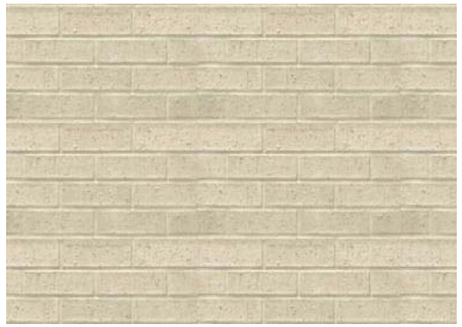
THE TOWERS AT MERCER CROSSING
MERCER PARKWAY
FARMER'S BRANCH, TEXAS 75087

TOWERS - EXTERIOR ELEVATIONS

Project Number 16039
Date 07/10/2017

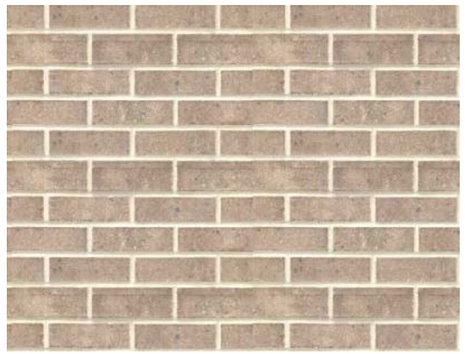
A215a

Scale



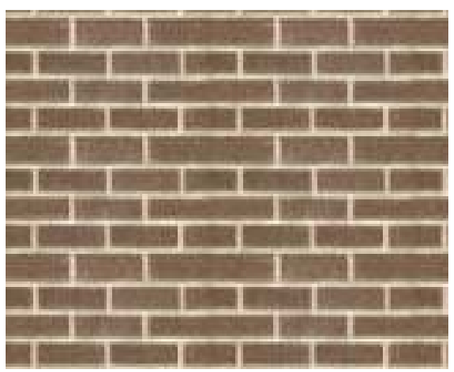
BRICK COLOR (LIGHT)

STUCCO COLOR
SHERWIN WILLIAMS ACCESSIBLE BEIGE (OR EQUAL)



BRICK COLOR (MEDIUM)

METAL FASCIA COLOR (LIGHT)
PREFINISHED ALUM. FASCIA - PARCHMENT (OR EQUAL)



BRICK COLOR (DARK)

METAL FASCIA COLOR (DARK)
PREFINISHED ALUM. FASCIA - SIERRA TAN (OR EQUAL)

TOWERS AT MERCER CROSSING
FARMER'S BRANCH, TX
7/7/2017

DESIGN FEATURES

LARGE STOREFRONT WINDOWS W/
TRANSOMS AT CLUBHOUSE

BALCONY GUARDRAIL

CANOPIES

EXTENDED FLAT ROOF FASCIA

CONTRASTING BRICK COLOR AT WINDOW HEADER / SILLS AND
BALCONY HEADERS, DECORATIVE BANDING AROUND BUILDING