

Images: Jeffery, Phase I, 11/27/2017 8:11 AM
LAST SAVED: 11/27/2017 8:11 AM
DRAWN BY: JPI
CHECKED BY: JPI
SCALE: AS SHOWN
DATE: 10/17/2017
PROJECT: 064448439
SHEET: 10/17/2017
DESIGNED BY: JWH
DRAWN BY: JAT
CHECKED BY: MAL

PHASE II DEVELOPMENT INFORMATION					
ZONING - PD 88 (MERCER CROSSING)					
BUILDING 1 (FFE 442' + " HT)	BUILDING 2 (FFE 442' + " HT)	BUILDING 3 (FFE 443' + " HT)	BUILDING 4 (FFE 442' + " HT)	BUILDING 5 (FFE 441' + " HT)	BUILDING 6 (FFE 442' + " HT)
STORY	OCCUPANCY	AREA (GSF)	STORY	OCCUPANCY	AREA (GSF)
1	MF	27,059	1	MF	26,812
2	MF	27,359	2	MF	27,359
3	MF	27,359	3	MF	27,359
TOTAL		81,777	TOTAL		81,530
BUILDING 7 (FFE 442' + " HT)	LEASING (FFE 441.5' + " HT)				
STORY	OCCUPANCY	AREA (GSF)	STORY	OCCUPANCY	AREA (GSF)
1	MF	41,789	1	MF/AMENITY	19,365
2	MF	43,157	2	MF	19,768
3	MF	43,157	3	MF	19,768
TOTAL		128,103	TOTAL		79,917
BUILDING 8 (FFE 441' + " HT)	LEASING (FFE 441.5' + " HT)				
STORY	OCCUPANCY	AREA (GSF)	STORY	OCCUPANCY	AREA (GSF)
1	MF	24,315	1	MF/AMENITY	19,365
2	MF	25,092	2	MF	19,768
3	MF	25,092	3	MF	19,768
TOTAL		74,499	TOTAL		58,901
BUILDING 9 (FFE 442' + " HT)	LEASING (FFE 441.5' + " HT)				
STORY	OCCUPANCY	AREA (GSF)	STORY	OCCUPANCY	AREA (GSF)
1	MF	17,131	1	AMENITY	10,011
2	MF	17,426	2	AMENITY	0
3	MF	17,426	3	AMENITY	0
TOTAL		51,983	TOTAL		10,011
BUILDING TOTAL GROSS AREA		566,621			
FLOOR AREA RATIO (FAR)		0.89:1			
FOUNDATION TYPE		SUPERSLAB			

SITE INFORMATION			
PAVEMENT AREA	250,361 SF	5.75 ACRES	(39.13%)
BUILDING COVERAGE	192,442 SF	4.42 ACRES	(30.07%)
LANDSCAPE AND OPEN SPACE	197,094 SF	4.52 ACRES	(30.80%)
TOTAL	639,897 SF	14.69 ACRES	

PARKING			
REQUIRED		PROVIDED	
1.125 PER RESIDENT UNIT	468 SPACES	GARAGE	187 SPACES
1 PER 1,000 SQ. FT. NON-MF	11 SPACES	TANDEM	12 SPACES
TOTAL	479 SPACES	ON-STREET	488 SPACES
		TOTAL	687 SPACES
ACCESSIBLE SPOTS REQ.		PER UNIT 1.651	
		ACCESSIBLE SPOTS PROV.	
		GARAGE	0 SPACES
TOTAL W/ VAN (2%)	14 SPACES	ON-STREET W/ VAN	14 SPACES
VAN SPOTS	2 SPACES	VAN SPOTS	4 SPACES

UNIT DISTRIBUTION (PERCENT TOTAL)		
ONE BEDROOM	266 UNITS	(63.94%)
TWO BEDROOM	135 UNITS	(32.45%)
THREE BEDROOM	15 UNITS	(3.61%)
TOTAL	416 UNITS	

- NOTES
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - FIRE LANES HAVE AN INSIDE RADIUS OF 26' WITH AN OUTER RADIUS OF AT LEAST 50' UNLESS OTHERWISE NOTED.
 - 30' FIRE LANES HAVE A 20' RADIUS.
 - NON-FIRE LANE DRIVEWAY RADI ARE 8'.
 - PARKING SPACE RETURNS AND GARAGE RETURN RADI ARE 3' UNLESS OTHERWISE NOTED.
 - ALL FIRE HYDRANTS ON SITE ARE TO BE LOCATED IN A 10' X 10' WATER EASEMENT.
 - BUILDING OUTLINE REPRESENTS OUTER EXTENTS OF FOUNDATION. REFER TO STRUCTURE PLANS FOR DETAIL.
 - ALL PARKING SPACES ARE 9'X18' UNLESS OTHERWISE NOTED.

SITE PLAN
JEFFERSON MERCER CROSSING
PHASE II
BY JPI REAL ESTATE ACQUISITION LLC
LOT
BEING 14.96 ACRES
SITUATED IN THE
HARRISON C. MARSH SURVEY, ABSTRACT NO. 916
AND WILLIAM M. COCHRAN SURVEY, ABSTRACT NO. 279
CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

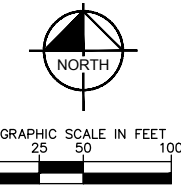
OWNER:
JEFFERSON MERCER CROSSING, L.P.
8000 E. LAS COLINAS BLVD.,
SUITE 1800
IRVING, TEXAS 75039
CONTACT: MILLER SYLVAN
TEL. NO. 972-556-1700

DEVELOPER:
JEFFERSON MERCER CROSSING, L.P.
12750 MERIT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
IRVING, TEXAS 75039
CONTACT: MILLER SYLVAN
TEL. NO. 972-556-1700

ENGINEER/SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
13465 NOEL ROAD TWO GALLERIA OFFICE TOWER
SUITE 1000, DALLAS, TX 75251
PHONE 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
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ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER, CITY OF
FARMERS BRANCH, IN REVIEWING AND RELEASING
PLANS FOR CONSTRUCTION ASSUMES NO
RESPONSIBILITY FOR ADEQUACY OR ACCURACY
OF DESIGN.

LEGEND	
PROPERTY LINE	---
PROPOSED FIRE LANE	FL FL FL
PROPOSED EASEMENT	---
PARKING COUNT	⊗
BALCONY	---
PATIO	---
FIRE HYDRANT	FH
FDC	D
BFR	---
CURB INLET	CI
GRATE INLET	GI
TRANSFORMER	TRANS.
IM	IRRIGATION METER
TANDEM SPACES	T



Kimley»Horn

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THE SITE PLAN IS FOR CITY
REVIEW ONLY TO ILLUSTRATE
COMPLIANCE WITH ZONING AND
DEVELOPMENT REGULATIONS.
IT IS NOT INTENDED FOR
CONSTRUCTION PURPOSES.

KHA PROJECT	064448439
DATE	10/17/2017
SCALE	AS SHOWN
DESIGNED BY	JWH
DRAWN BY	JAT
CHECKED BY	MAL

SITE PLAN

JEFFERSON MERCER
CROSSING - PHASE II
PREPARED FOR
JPI
CITY OF FARMERS BRANCH, TEXAS

SHEET NUMBER
C-100