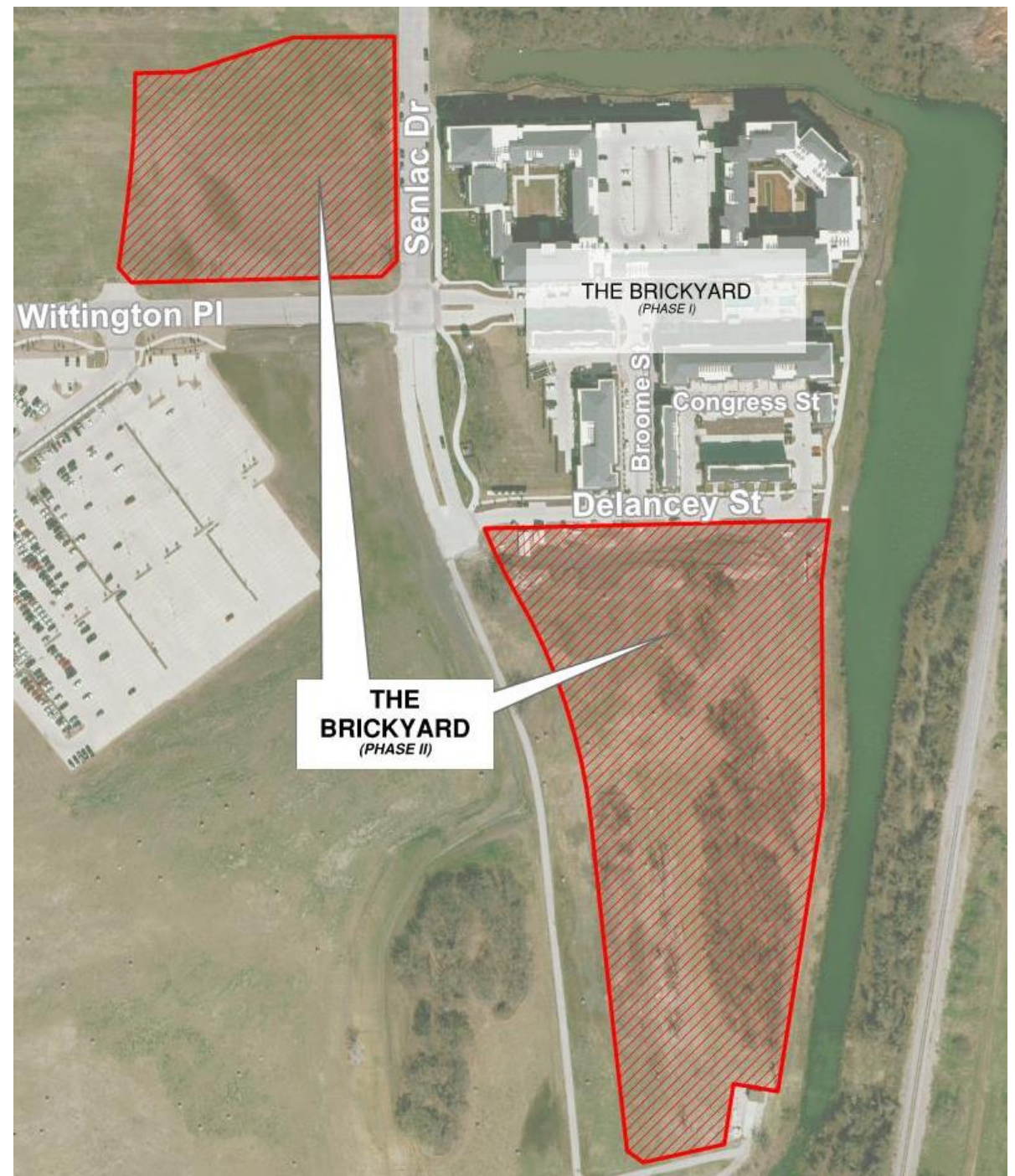


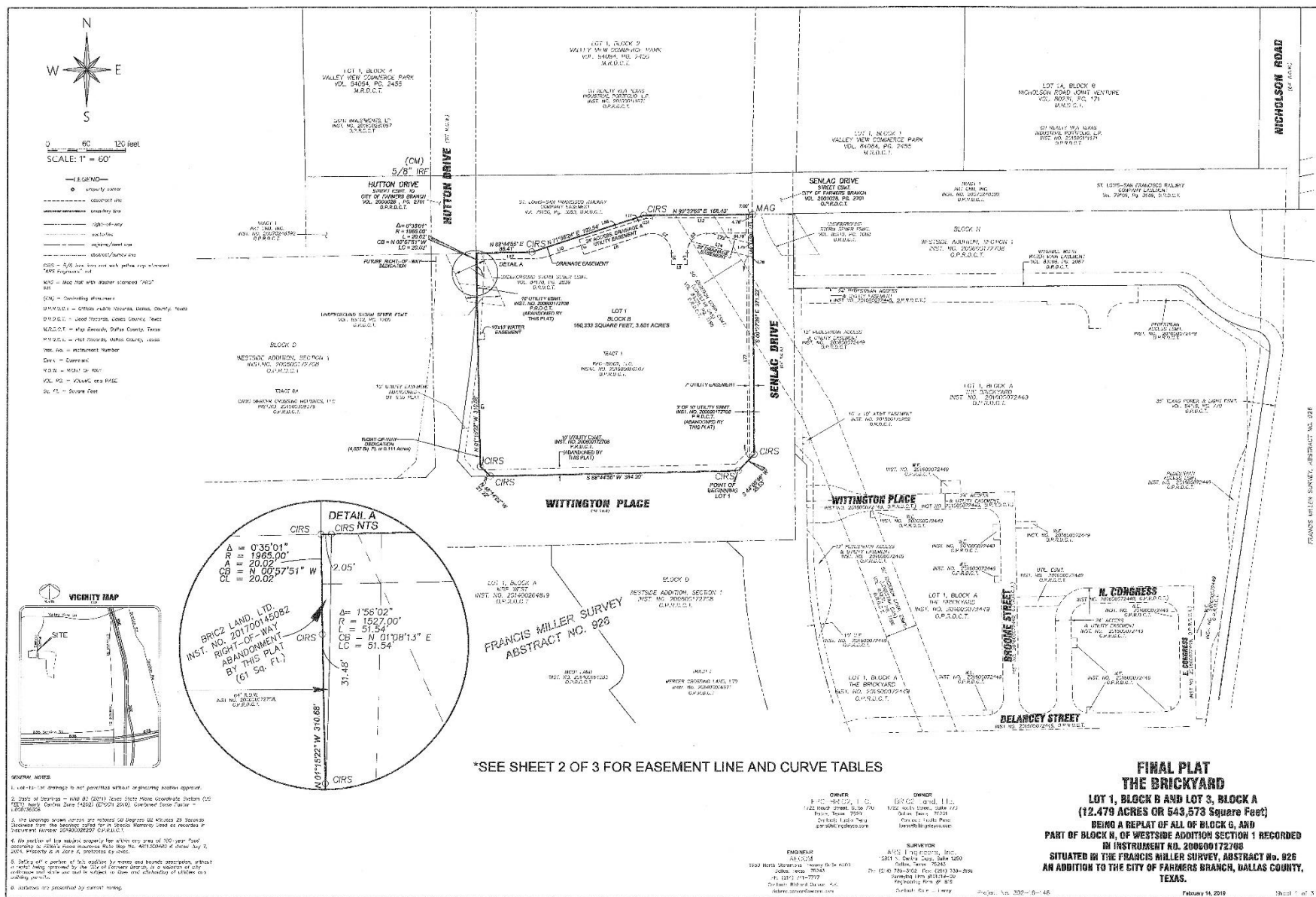


FARMERS BRANCH CITY COUNCIL

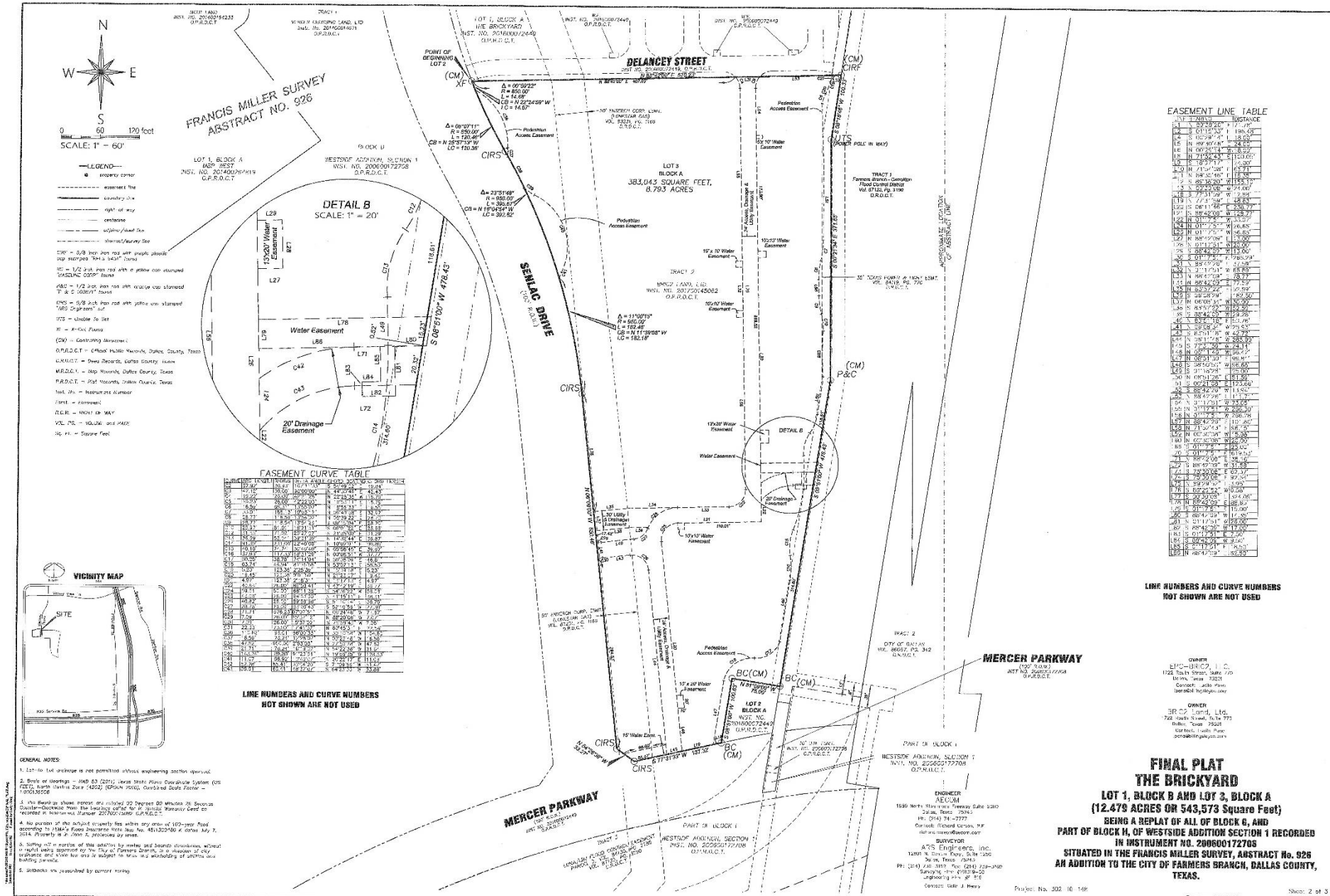
Subject Property —
The Brickyard (Phase II)
Zoned: PD-88



Final Plat – The Brickyard (*Phase II*) pg. 1 of 3

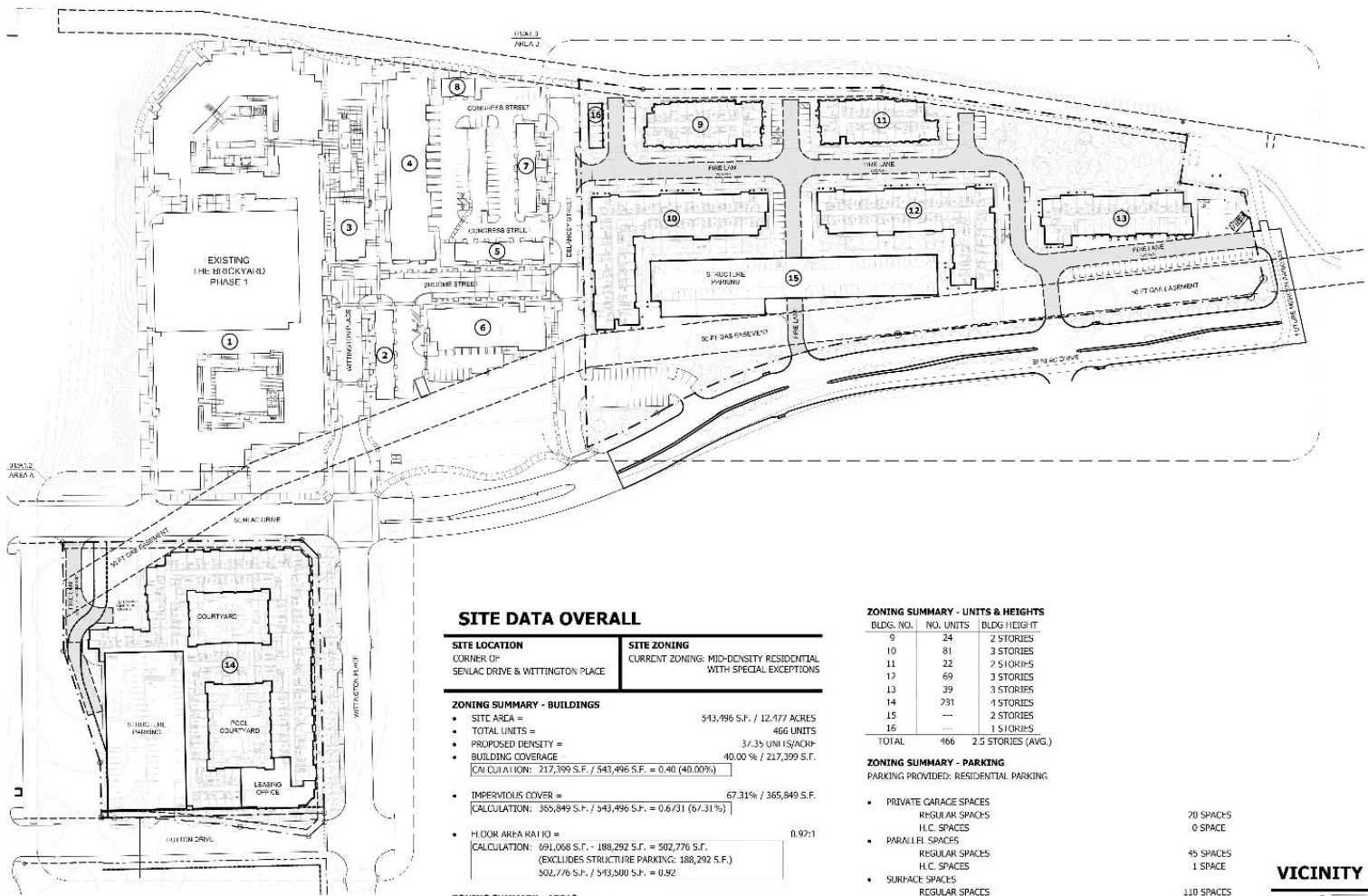


Final Plat – The Brickyard (*Phase II*) pg.2 of 3



Approved Detailed Site Plan – The Brickyard (Phase II)

Resolution No. 2017-056 Exhibit “A” – Detailed Site Plan



01 OVERALL SITE PLAN
SCALE: 1"=10'

NOTES

- REFER TO C-2 HORIZONTAL CONTROL PLAN FOR FINISHED FLOOR ELEVATIONS
- FOUNDATION TYPE FOR ALL BUILDINGS SHALL BE SLAB ON GRADE

SITE DATA OVERALL

SITE LOCATION	SITE ZONING
CORNER OF SENLAC DRIVE & WITTINGTON PLACE	CURRENT ZONING: MID-DENSITY RESIDENTIAL WITH SPECIAL EXCEPTIONS

ZONING SUMMARY - BUILDINGS	
• SITE AREA =	543,496 S.F. / 12.477 ACRES
• TOTAL UNITS =	466 UNITS
• PROPOSED DENSITY =	37.35 UNITS/ACR
• BUILDING COVERAGE	40.00 % / 217,399 S.F.
CALCULATION: 217,399 S.F. / 543,496 S.F. = 0.40 (40.00%)	

• IMPERVIOUS COVER =	67.31% / 365,849 S.F.
CALCULATION: 365,849 S.F. / 543,496 S.F. = 0.6731 (67.31%)	

• FLOOR AREA RATIO =	0.92:1
CALCULATION: 691,068 S.F. - 188,292 S.F. = 502,776 S.F. (EXCLUDES STRUCTURE PARKING: 188,292 S.F.) 502,776 S.F. / 543,500 S.F. = 0.92	

ZONING SUMMARY - AREAS					
BLDG. NO.	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
9	12,942 S.F.	12,942 S.F.			24,084 S.F.
10	26,471 S.F.	26,471 S.F.	26,471 S.F.		79,413 S.F.
11	11,130 S.F.	11,130 S.F.			22,260 S.F.
12	23,115 S.F.	23,115 S.F.	23,115 S.F.		69,345 S.F.
13	10,144 S.F.	14,727 S.F.			39,598 S.F.
13 (GARAGE)	4,583 S.F.				4,583 S.F.
14	67,019 S.F.	67,019 S.F.	67,019 S.F.	67,019 S.F.	268,076 S.F.
14 (GARAGE)	29,707 S.F.	29,707 S.F.	29,707 S.F.		118,828 S.F.
15 (GARAGE)	31,693 S.F.	31,693 S.F.			63,386 S.F.
16 (GARAGE)	1,495 S.F.				1,495 S.F.
					691,068 S.F.

ZONING SUMMARY - UNITS & HEIGHTS

BLDG. NO.	NO. UNITS	BLDG HEIGHT
9	24	2 STORIES
10	81	3 STORIES
11	22	2 STORIES
12	69	3 STORIES
13	39	3 STORIES
14	231	4 STORIES
15	---	2 STORIES
16	---	1 STORIES
TOTAL	466	2.5 STORIES (AVG.)

ZONING SUMMARY - PARKING

PARKING PROVIDED: RESIDENTIAL PARKING

• PRIVATE GARAGE SPACES	20 SPACES
REGULAR SPACES	0 SPACE
H.C. SPACES	
• PARALLEL SPACES	45 SPACES
REGULAR SPACES	1 SPACE
H.C. SPACES	
• SURFACE SPACES	110 SPACES
REGULAR SPACES	
TANDEM SPACES	4 SPACES
H.C. SPACES	3 SPACES
• STRUCTURE PARKING SPACES	551 SPACES
REGULAR SPACES	
H.C. SPACES	12 SPACES
• SURFACE OFF SITE SPACES	
REGULAR SPACES	17 SPACES
H.C. SPACES	
TOTAL SPACES PROVIDED	738 SPACES
REGULAR SPACES	4 SPACES
TANDEM SPACES	16 SPACES
H.C. SPACES	
738 TOTAL SPACES	
(466 UNITS @ 1.62/UNIT)	

VICINITY MAP



DALLAS • HOUSTON • SALT LAKE
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Revisions

PROJECT: N. LAMON
1001 SENLAC DR., DALLAS, TX 75219
PREPARED BY: HLR ARCHITECTS
NOT FOR CONSTRUCTION
NOT FOR CONSTRUCTION
REVISED

HLR ARCHITECTS, P.C. IS THE
DESIGNER OF RECORD FOR THE
PROJECT. ALL OTHERS ARE
NOT TO BE USED WITHOUT THE
WRITTEN CONSENT OF HLR ARCHITECTS, P.C.

Project Title
**THE
BRICKYARD
PHASE 2
FARMER BRANCH
TXAS**

Issue Set: 02.08.17

Permit Set Issue: XXXXXX

Site Set Issue: XXXXXX

Construction Set Issue: XXXXXX

Project ID: 16190

Drawing No.

A1.1

CONCEPT OVERALL
SITE PLAN