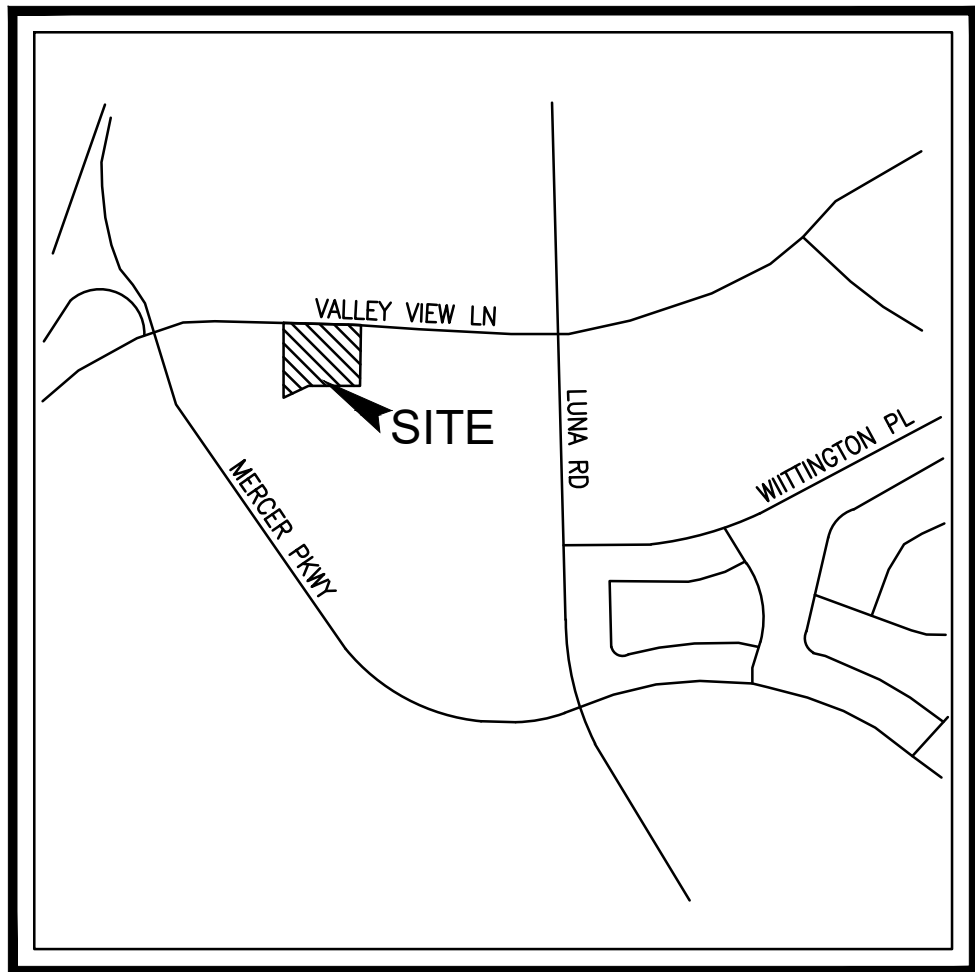
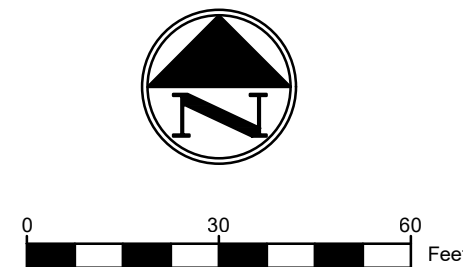




VICINITY MAP
N.T.S.



DUMPSTER SCREENING NOTES

1. THE SANITATION CONTAINER WALLS SHALL BE MASONRY, AND THE EXTERIOR WALL FINISH SHALL BE THE SAME COLOR, MATERIAL, AND TEXTURE AS THE EXTERIOR WALLS OF THE PROPOSED BUILDING AND SHALL BE INSTALLED WITH METAL GATES.
2. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING TRASH RECEPTACLE ENCLOSURES AND ADEQUATE ACCESS AND EGRESS.
3. DUMPSTER PADS AND ENCLOSURE SHALL NOT BE LOCATED IN RIGHT-OF-WAY OR FIRE LANES.

ALL UTILITIES CONSTRUCTED OR INSTALLED ON SITE MUST BE UNDERGROUND

PROPERTY OWNER CADG MERCER CROSSING HOLDINGS, LLC 1800 VALLEY VIEW LANE, STE. 300 FARMERS BRANCH, TEXAS 75234 CONTACT: MICHAEL BEATY TEL: 214-287-9009	ENGINEER TRIANGLE ENGINEERING LLC 1784 McDERMOTT DR., STE. 110 ALLEN, TX 75013 CONTACT: KIEW KAM TEL: 469-213-2268	ARCHITECT IKEMIRE ARCHITECTS LLC 16660 DALLAS PARKWAY STE. 2900 DALLAS, TX 75248 CONTACT: ANDREW MELETTA TEL: 972-248-2486
SURVEYOR A & W SURVEYORS, INC. P.O. BOX 870029 MESQUITE, TX 75187 CONTACT: JOHN S. TURNER TEL: 972-681-4975	LANDSCAPE ARCHITECT STUDIO GREEN SPOT, INC. 1784 McDERMOTT DR., STE. 110 ALLEN, TX 75013 CONTACT: CHRIS TRONZANO TEL: 469-369-4448	

SITE DATA SUMMARY TABLE	
NUMBER OF LOTS:	1
GROSS SITE ACREAGE:	1.702 ACRES OR 74,159 S.F.
EXISTING ZONING:	PD-99 URBAN COMMERCE DISTRICT
PROPOSED USE:	DAYCARE
PROPOSED BUILDING AREA:	13,077 S.F.
PROPOSED NUMBER OF STORIES:	1
PROPOSED BUILDING HEIGHT:	25'-0"
FLOOR AREA RATIO:	0.176
BUILDING COVERAGE:	17.6%
BUILDING FOUNDATION:	PIER AND SLAB FOUNDATION
TOTAL PARKING REQUIRED: (1 SP PER 250 S.F.)	52 PARKING SPACES
REGULAR PARKING PROVIDED:	52 REGULAR SPACES+2 BUS PARKING
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
IMPERVIOUS COVERAGE:	58,707 S.F. OR 79.2%
PERVIOUS/LANDSCAPE AREA:	15,452 S.F. OR 20.8%

EXISTING LEGEND		
● 1/2" IR FOUND	⊠ IRRIGATION VALVE	▨ NO PARKING
○ 1/2" IR SET	⊠ WATER VALVE	▨ CONCRETE
● 5/8" IR FOUND	⊠ FIRE HYDRANT	▨ GRAVEL
● 3/8" IR FOUND	⊠ IR VALVE	▨ BRICK
● 60-D NAIL FOUND	⊠ UTILITY POLE	▨ STONE
● PK NAIL SET	⊠ WATER METER	▨ WOOD DECK
● 1/2" IP FOUND	⊠ GAS METER	▨ BUILDING WALL
● X-FOUND	⊠ A.C. PAD	▨ TILE
● X-SET	⊠ TRANS. BOX	▨ BUILDING LINE
● 1" IR FOUND	⊠ GAS MARKER	▨ EASEMENT
● 1" IP FOUND	⊠ OHU- OVERHEAD UTILITY LINE	▨ BOUNDARY
● POINT FOR CORNER	⊠ GUY WIRE ANCHOR	▨ HIGHBANK LINE
● CON. MONUMENT	⊠ BARBED WIRE FENCE	▨ PARKING STRIPE
● 3/4" IP FOUND	⊠ IRON FENCE	▨ HANDICAP SPACE
▨ TELE. BOX	⊠ CHAINLINK FENCE	
▨ CABLE BOX	⊠ WOOD FENCE	
▨ ELECTRIC BOX	⊠ PIPE RAIL FENCE	
▨ BRICK COLUMN	⊠ COVERED AREA	
▨ STONE COLUMN	⊠ ASPHALT	
⊠ STORM DRAIN MH.	⊠ FIRE LANE STRIPE	
⊠ SAN. SEW. CO.	⊠ BRICK RET. WALL	
⊠ BOLLARD POST	⊠ STONE RET. WALL	
⊠ LIGHT POLE	⊠ CON. RET. WALL	
⊠ SAN. SEW. MH.		

SITE LEGEND	
CONCRETE CURB	▬
SAW-CUT LINE	▬
FENCE	▬ x ▬
FIRE LANE	▬
ADA PATH	▬
STRIPING	▨
PARKING SPACES	9
HANDICAP LOGO	♿
HANDICAP SIGN	♿
RAMP	▬
BOLLARD	•
DUMPSTER	▭
MONUMENT SIGN	▭

