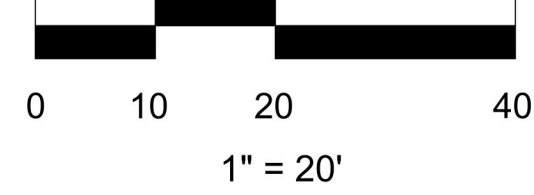
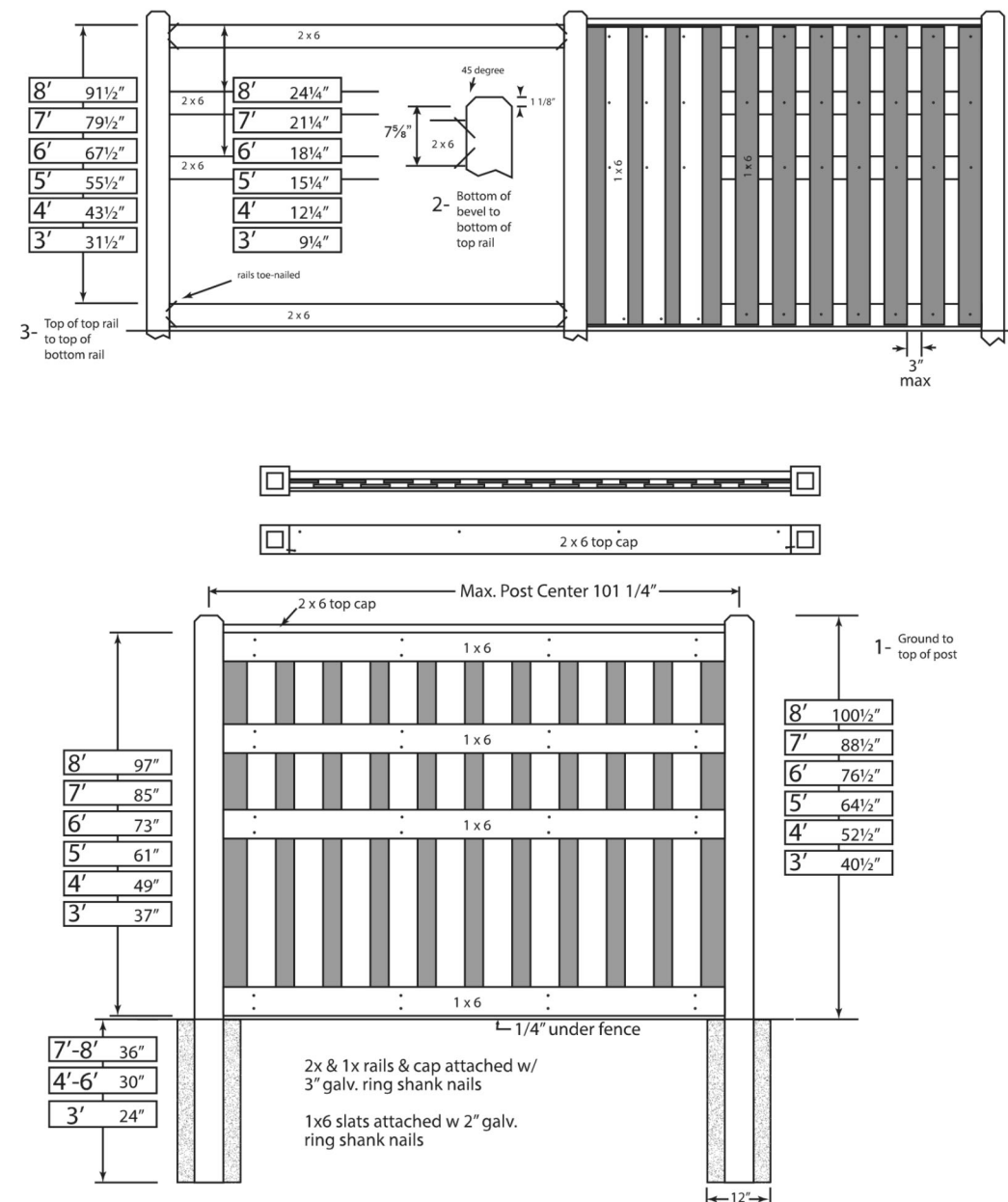


SITE AREA =32,638 S.F.
TOTAL SLAB AREA 12,142 S.F.
SLAB COVERAGE 37.2%
PUBLIC SIDEWALK AREA: 1,278 S.F.
PRIVATE SIDEWALK AREA: 2,910 S.F.
DRIVE & PARKING AREA: 9,475 S.F.
MASONRY WALL AREA: 191 S.F.
ENTRY PORCH AREA: 560 S.F.
TOTAL IMPERVIOUS COVERAGE 25,087 S.F.
IMPERVIOUS COVERAGE 76.86%

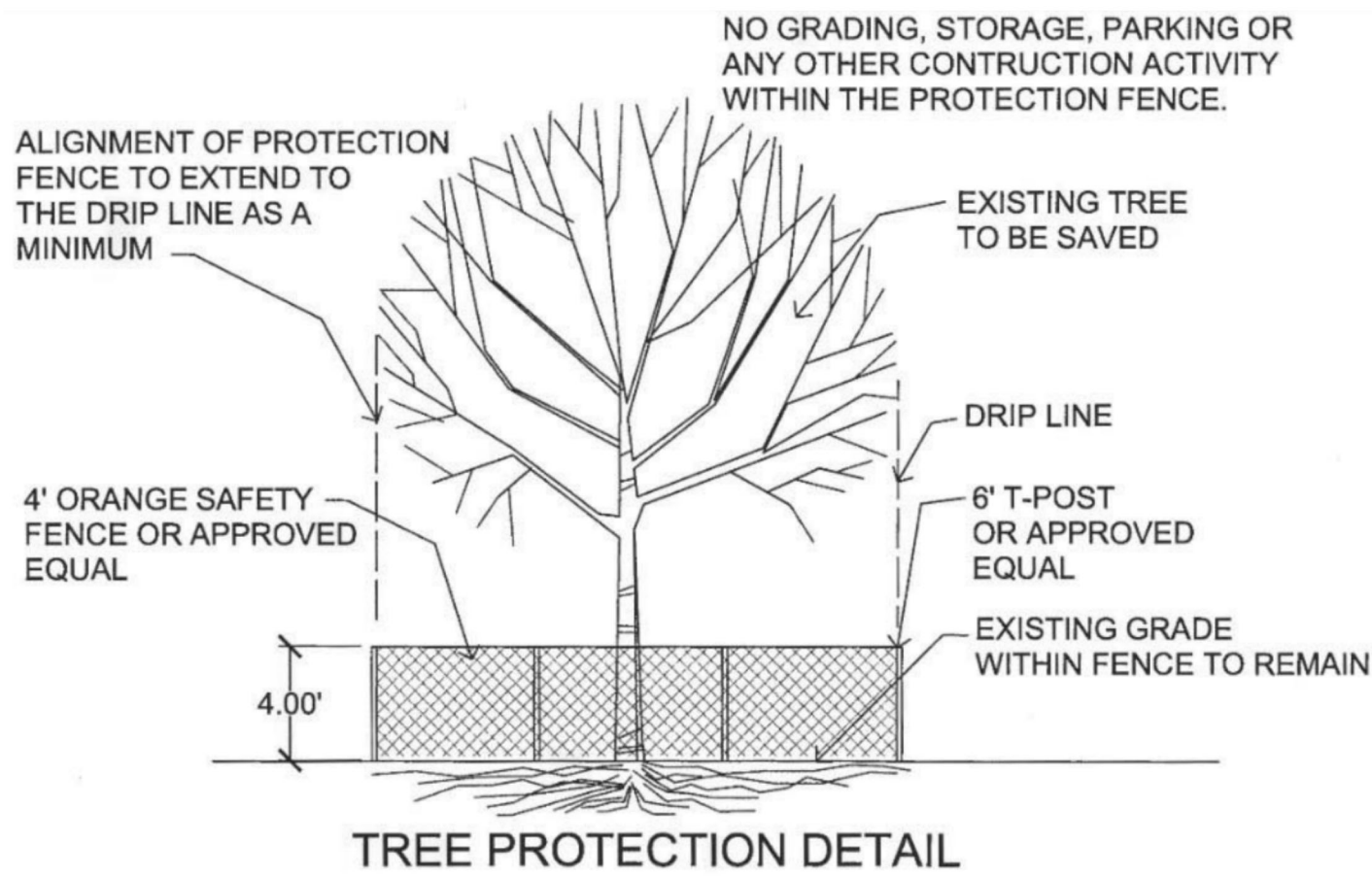
ZONING - PD-93
OCCUPANCY - R3
USE - TOWNHOMES
CONSTRUCTION - 5B
13D FIRE SPRINKLER SYSTEM

Decorative Wood Fence Detail



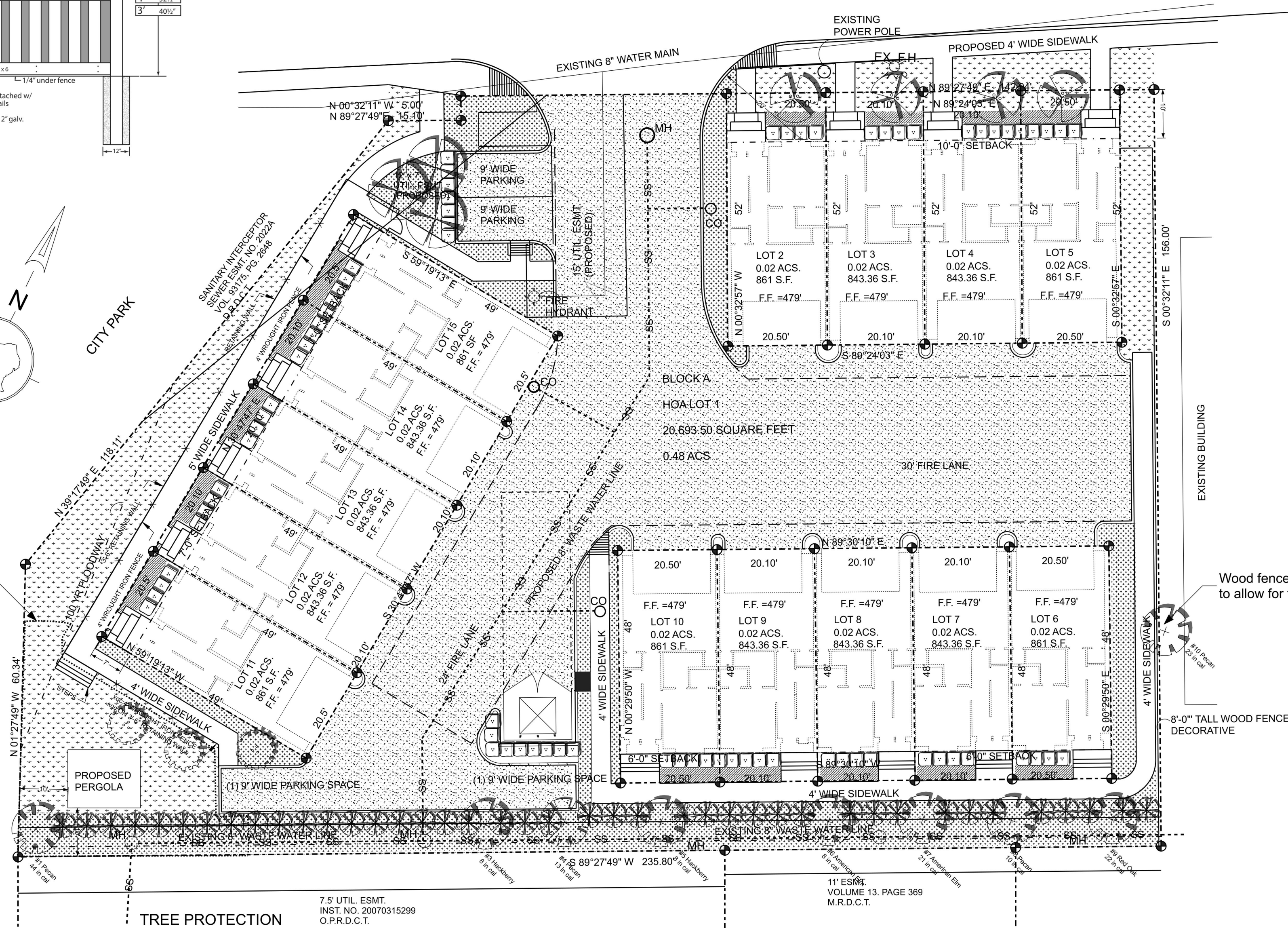
Tree Survey Table

Number	Type	Size	Preserve
#1	Pecan	44 In. Cal.	Yes
#3	Hackberry	8 In. Cal.	Yes
#4	Pecan	13 In. Cal.	Yes
#5	Hackberry	8 In. Cal.	Yes
#6	Elm	8 In. Cal.	Yes
#7	Elm	21 In. Cal.	Yes
#8	Pecan	10 In. Cal.	Yes
#9	Red Oak	22 In. Cal.	Yes
#10	Pecan	23 In. Cal.	Yes



- All trees shown on this plan to be preserved shall be protected during construction with temporary fencing. Tree protection fences shall be installed prior to the commencement of any site preparation work (clearing, grubbing or grading).
- Fences shall completely surround the tree or clusters of trees. The fence shall be located at the outermost limits of the tree branches or critical root zone. The fence will be maintained throughout the construction project in order to prevent the following.
 - Soil compaction in the critical root zone resulting from vehicular traffic or storage of equipment or materials.
 - Critical root zone disturbances due to grade changes greater than two inches (2") cut or fill or boring which was not authorized.
 - Wounds to the trunk, limbs or exposed roots by mechanical equipment.
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- In cases of area constraints where the protective fence is closer to the trunk than four feet (4'), the trunk must be protected with strapped-on planking to a height of eight feet (8') or to the limits of the lower branching.
- All grading within critical root zones of protected trees shall be performed by hand or small equipment to minimize damage. Prior to grading, relocate the protective fencing to two feet (2') behind the grade change area.
- Trees most heavily impacted by construction activities should be watered deeply once a week during periods of hot and dry weather. Tree crowns should be sprayed with water periodically to reduce dust accumulation on the leaves.
- Trenching for landscape irrigation shall be located as far from the existing trunks as possible.
- Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before construction begins.

VALLEY VIEW LANE (EAST BOUND TRAFFIC)

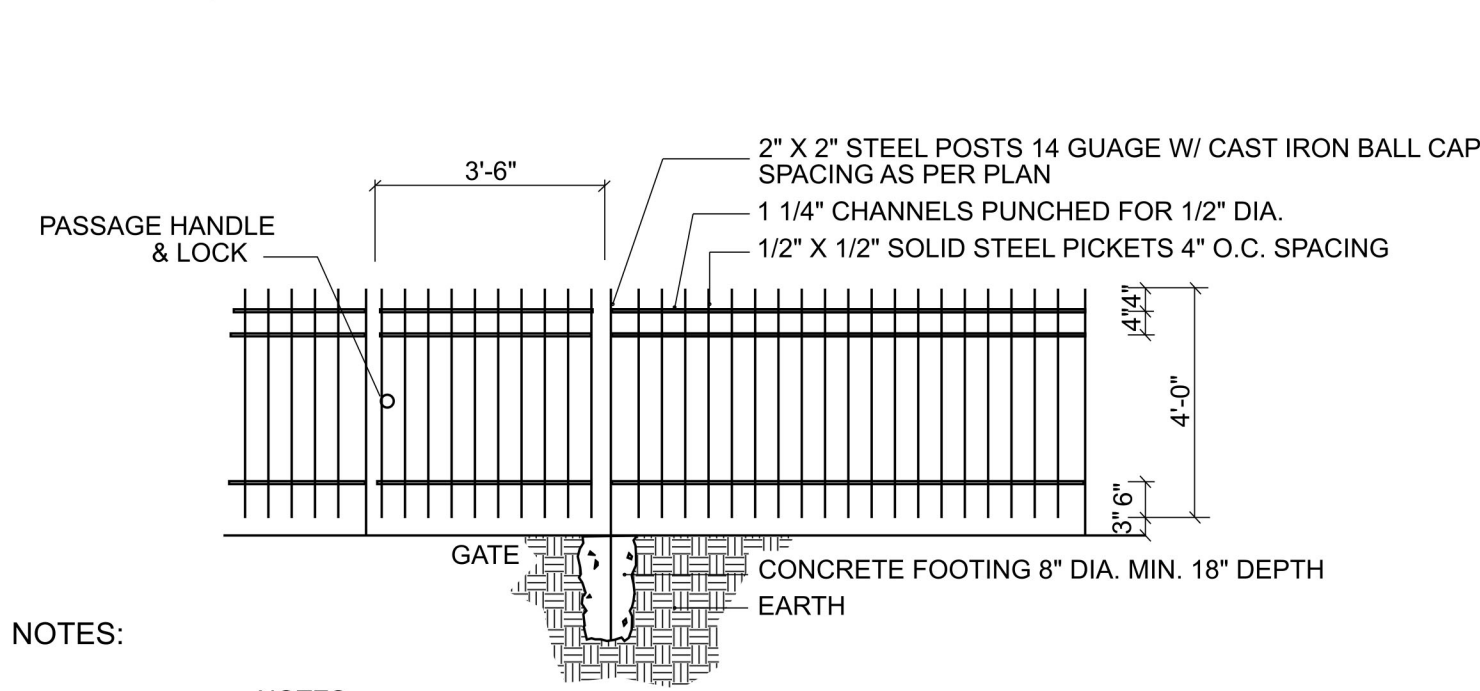


- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- ALL SHRUB AND GROUND COVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH.
- LANDSCAPE EDGING SHALL BE LOCATED AS NOTED ON PLAN.
- TREES SHALL BE PLANTED AT A LEAST FIVE (5') FEET FROM ANY UTILITY LINE, AND OUTSIDE ALL UTILITY EASEMENTS AND A THREE (3') CLEAR DIAMETER AROUND FIRE HYDRANTS, UNLESS PRIOR APPROVAL IS GRANTED.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
- TREES OVERHANGING VISIBILITY EASEMENTS OF RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
- TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- 3 INCHES OF SOILS BUILDING SYSTEMS PH BALANCED COMPOST TO BE TILLES INTO EXISTING TOPSOIL TO ACHIEVE A MAXIMUM RATIO OF 50% COMPOST (I.E. 1 PART COMPOST TO 1 PART EXISTING SOIL)...ALL HYDROSEEDING AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RATE.

Landscape

Quantity	Symbol	Description
Ground Cover-Vines		
4238		Asiatic Jasmine / Trachelospermum asiaticum 4 In Pot
3744		Bermuda Grass / Cynodon dactylon Sq. Ft.
271		Variegated Liliyturf / Liriope muscari 'Variegata' 1 Gallon
Shrubs Under 4 Feet		
75		Holly, Dwarf Burford / Ilex cornuta 'Burfordii Nana' 3 gallon
Trees		
4		Crape Myrtle, Tuscarora / Lagerstroemia indica 'Tuscarora' 6 ft. - 8 ft.
3		Cypress, Pond / Taxodium ascendens 3 in. cal min
9		Existing Tree
41		Holly 'Mary Nell' / Ilex x 'Mary Nell' 5'-6' Ht, 24" W, FTG
3		Redbud, Texas / Cercis canadensis var. texensis 6 Ft. -8 Ft.

4' Wrought Iron Fence Detail



- NOTES:
- ALL METAL TO BE DEGREASED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND DIP COATED WITH TWO COATS OF INDUSTRIAL GRADE FLAT BLACK ENAMEL.

FENCING

4' WROUGHT IRON - DETAIL 1

PD-93 LANDSCAPE TABULATIONS

Landscape Area
A minimum of five percent of the entire lot area not covered by buildings and not a part of any right-of-way shall be landscaped.

Total Area not covered by buildings - 20,717 Sq. Ft.
Minimum Landscape Area Required - 3,107.55 Sq. Ft. (15%)
Landscape Area Provided - 8,024 Sq. Ft. (25.13%)

Street Frontage
Trees Required - 2
Trees Provided - 4

- NOTES:
- HOA MUST BE ESTABLISHED FOR THIS DEVELOPMENT. ALL PROPERTY OWNERS MUST BE FINANCIAL PARTICIPANTS FOR THE MAINTENANCE OF ALL COMMON AREAS, LANDSCAPING, FENCES AND PARKING AREAS.
 - ESTABLISHMENT OF HOA MUST BE PROVIDED FOR REVIEW BY CITY ATTORNEYS AND FILED BEFORE THE PLAT BEING FILED FOR RECORDING.
 - BLANKET ACCESS EASEMENT FOR THE ENTIRE HOA LOT WILL BE DEDICATED WITH THE PLAT TO ALLOW FOR VEHICLE AND PEDESTRIAN ACCESS.

AJ REAL ESTATE INVESTMENTS, LLC
3265 BROADWAY BLVD. SUITE#100
GARLAND, TEXAS 75043-1620
OWNER: ARLEEN MACIAS
PHONE: 214-728-1881



COMPANY:

DAVID L. GARRISON
Landscape Design Studio
4445 Eldorado Dr
Plano, TX 75093
214-668-4163
david@iPlanLandscapes.com



SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

ROSE CREEK TOWN HOMES

14 UNIT TOWNHOUSE PROJECT
2620 VALLEY VIEW LN
FARMERS BRANCH, TEXAS

REVISIONS:

8-13-2020
8-24-2020

DATE:

7-29-2020

JOB NUMBER:

200729

DRAWN BY:

David G

CHECKED BY:

N/A

SCALE:

1" = 20'-0"

SHEET:

1 of 1