

## CHAPTER

# V

## ARCHITECTURAL STANDARDS



Conceptual rendering of development around DART Station, Farmers Branch Station Area Conceptual Master Plan

The architectural standards for the *Station Area Form-Based Code* serve to establish a coherent character for the district and encourage a high caliber, lasting quality of development. Buildings must be reviewed by the City Planning Staff to verify that they meet the architectural standards as well as other requirements of the *Form-Based Code*. The City Planning Staff will also work with the developer and/or designer to show them how to work within the *Code*.

## A. General Principles and Intent

### Tradition

- These standards favor an aesthetic that is traditional in a broad sense. They specify an architectural aesthetic of load-bearing walls and regionally appropriate materials. The standards also specify certain details, such as window proportions, roof or cornice configurations, shopfronts, and overhangs.
- The intent behind these standards is to foster a coherent and regionally appropriate Station Area.
- All building materials to be used shall express their specific properties. For example, stronger and heavier materials (masonry) may support lighter materials (wood), not the reverse.

### EQUIVALENT OR BETTER

- While only materials, techniques, and product types prescribed here are allowed, equivalent or better practices and products are encouraged. They shall be submitted to the City Manager for review. Additional products may be added to the list through an amendment to the *Code* or may be allowed on a case by case basis through the Special Exception process (see Chapter VI Administration) for this *Code*.

### WHERE CLEARLY VISIBLE FROM THE STREET-SPACE

- Many of these standards apply only in conditions WHERE CLEARLY VISIBLE FROM THE STREET-SPACE. Note that the definition of STREET-SPACE includes parks, CIVIC SQUARES, and CIVIC GREENS. These controls therefore concentrate on the public space/views from the public space and minimize interference in the private realm. For example, an architectural element that is visible only through an opening in a STREET WALL is NOT CLEARLY VISIBLE FROM THE STREET-SPACE.

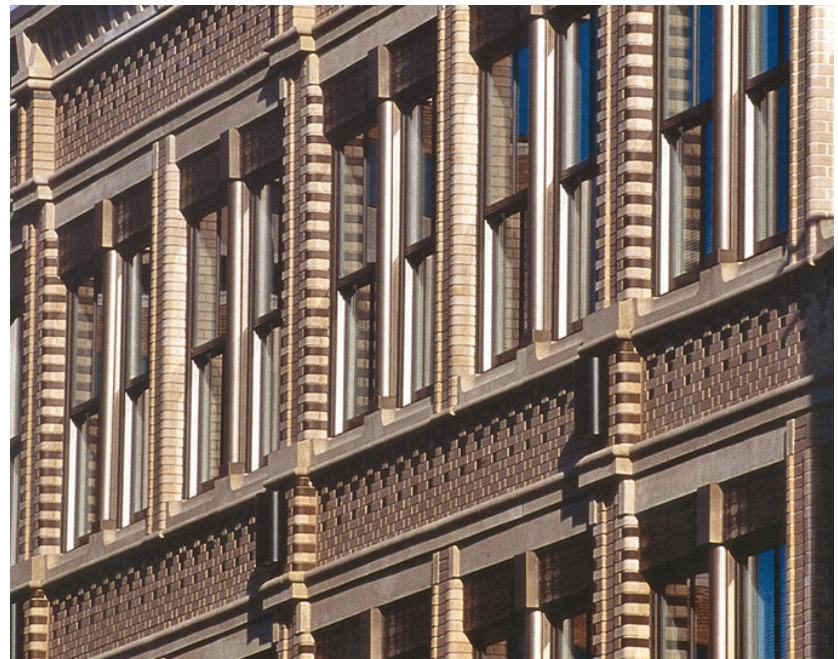




## B. Building Walls (Exterior)

### Intent and Guiding Illustrations for Building Walls

Building walls should reflect and complement the traditional materials and techniques of the Texas region. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood). The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Standards for Building Walls

**Materials:** The following materials are permitted.

**Primary Materials** (75 percent of FACADE or greater):

- Brick or tile masonry
- Native stone (or synthetic equivalent)

**Secondary Materials** (no greater than 25% of FACADE):

- Hardie-Plank™ equivalent or better siding
- Stucco (cementitious finish)

**Accent Materials** (no greater than 5% of FACADE):

- Pre-cast masonry (for trim and cornice elements only)
- Gypsum Reinforced Fiber Concrete (GFRC—for trim elements only)
- Metal (for beams, lintels, trim elements and ornamentation only)
- Split-faced block (only for piers, foundation walls and chimneys)

**Configurations and Techniques:** The following configurations and techniques are permitted. Along Type B streets and alley frontages, building facades shall be of similar finished quality and color and blend with the front of the building facing a Type A street frontages. Type B street facades shall be made of the same materials as Type A street facades.

### Walls

- The horizontal dimension of the wall opening shall not exceed the vertical dimension except where otherwise prescribed in this Code.
- Wall openings shall not span vertically more than one story.
- Wall openings shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
- Material changes shall be made within a constructional logic—as where an addition (of a different material) is built onto the original building.
- **Wood Siding and Wood Simulation Materials**
- Lap siding (horizontal) configuration
- Smooth or rough-sawn finish (no faux wood grain)

### Brick, Block and Stone

- Must be detailed and in an appropriate load-bearing configurations.

### Stucco (cementitious finish)

- Smooth or sand only, no roughly textured finish.



## C. Roofs and PARAPETS

### Intent and Guiding Illustrations for Roofs and Parapets

Roofs and PARAPETS should demonstrate a common-sense recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the Station Area. The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Standards for Roofs and Parapets

(WHERE CLEARLY VISIBLE FROM THE STREET-SPACE)

**Materials:** The following materials are permitted.

- Clay or concrete (faux clay)
- Tile (barrel or flat roman)
- Slate (equivalent synthetic or better)
- Metal (standing seam, equivalent or better)
- Dimensional asphalt shingles
- Cedar shingles
- Cornices and soffits may be a combination of wood, vinyl, and/or metal

**Configurations and Techniques:** The following configurations and techniques are permitted.

### Pitched Roofs

- Pitch (exclusive of roofs behind Parapet walls)
  - Simple hip and gable roofs shall be symmetrically pitched between 4:12 and 10:12.
  - Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.

### Overhangs

- Eaves must overhang 18 to 30 inches on the primary structure for the initial four (4) stories. For each additional Story; six (6) inches shall be added to the minimum and twelve (12) inches shall be added to the maximum, up to a maximum projection of 7 feet.
- Eaves and rakes on accessory buildings, dormers, and other smaller structures must overhang at least 8 inches.
- Timber eaves and balcony brackets must be a minimum of 4 inches x 4 inches in dimension.

### Cornices and Other Features

- Buildings without visible roof surfaces and overhanging eaves may satisfy the overhang requirement with a cornice projecting horizontally between 6 and 12 inches beyond the building walls for the on the primary structure for the initial four (4) stories. For each additional story; six (6) inches shall be added to the minimum and twelve (12) inches shall be added to the maximum, up to a maximum projection of 6 feet.
- Skylights and roof vents are permitted only on the roof plane opposite the primary street (or RBL) or when shielded from Type A STREET-FRONTAGE view by the building's Parapet wall.



## D. Street Walls and Garden Walls

### Intent and Guiding Illustrations for Street Walls and Garden Walls

STREET and GARDEN WALLS establish a defined edge to the STREET-SPACE where the building walls do not exist. The Station Area Form-Based Code requirements include masonry walls that define outdoor spaces and separate the STREET-SPACE from the private realm (parking lots, trash cans, gardens, and equipment). All STREET and GARDEN WALL FACADES shall be as carefully designed as the building FAÇADE, with the finished side out, i.e. the “better” side facing the STREET-SPACE. The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Standards for Street and Garden Walls

(WHERE CLEARLY VISIBLE FROM THE STREET-SPACE)

A STREET WALL is a masonry wall set back not more than 8 inches from the RBL or adjacent building façade and built to the height specified in the BUILDING ENVELOPE STANDARDS. A vehicle entry gate (opaque, maximum 30 feet wide) and a pedestrian entry gate (maximum 6 feet wide) are both allowed within any required STREET WALL length.

**Materials:** The following materials are permitted.

- Native/regional stone and equivalent imitation stone
- Metal (wrought iron, welded steel and/or aluminum)
- Brick
- Stucco on concrete block (or poured) only with brick or stone coping
- A combination of materials (e.g. stone piers with brick infill panels)

**Configurations and Techniques:** The following configurations and techniques are permitted:

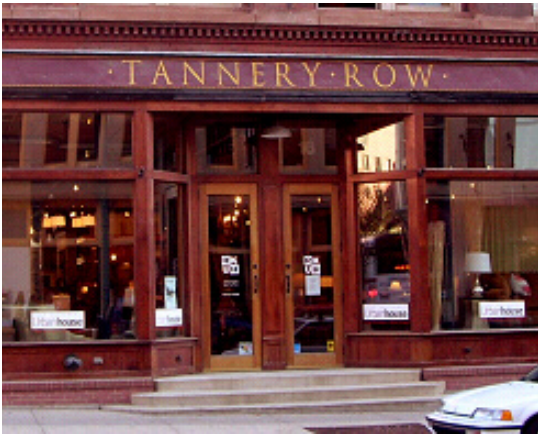
- STREET WALLS along any unbuilt REQUIRED BUILDING LINE shall be built to the height and length specified in the BUILDING ENVELOPE STANDARD.
- Metal work may additionally be treated to imitate a copper patina.
- Copings shall project between 1/2 inch and 4 inches from the face of the wall.
- Street Walls along Type B street frontages shall be a minimum of 3 feet in height and shall screen any surface parking areas.



## E. Windows and Doors

### Intent and Guiding Illustrations for Windows and Doors

The placement, type, and size of windows and doors help to establish the scale and vitality of the STREET-SPACE. For commercial buildings, they allow interplay between the shop interiors and the STREET-SPACE. For residential streets, they foster the “eyes on the street” surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window “hold” the surface of the Façade, rather than appearing like a “hole” in the wall (an effect produced by a large single sheet of glass). The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Standards for Windows and Doors

(WHERE CLEARLY VISIBLE FROM THE STREET-SPACE)

**Materials:** The following materials are permitted.

- Windows shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
- Window glass shall be clear, with light transmission at the Ground Story at least 90 percent and for the upper Stories 75 percent (modification as necessary to meet any applicable building and energy code requirements). Specialty windows (one per FAÇADE maximum) may utilize stained, opalescent, or glass block. Type B street frontages do not have to meet this percentage requirement.
- Window screens shall be black or gray.
- Screen frames shall match window frame material or be dark anodized.
- Doors shall be of wood, clad wood, or steel and may include glass panes.

**Configurations and Techniques:** The following configurations and techniques are permitted:

- The following requirements apply to all windows:
  - The horizontal dimension of the opening shall not exceed the vertical dimension except where otherwise prescribed in this *Code*.
  - Windows may be grouped horizontally (maximum 5 per group) if each grouping is separated by a mullion, column, pier or wall section that is at least 7 inches wide.
  - Windows shall be no closer than 30 inches to Building Corners (excluding BAY WINDOWS) unless otherwise prescribed on the REGULATING PLAN.
  - Exterior shutters, if applied, shall be sized and mounted appropriately for the window (one-half the width), even if inoperable.
- The following requirements apply to all upper-STORY windows:
  - Windows shall be double-hung, single-hung, awning, or casement windows.
  - Fixed windows are permitted only as a component of a system including operable windows within a single wall opening.
  - Residential buildings/floors: panes of glass no larger than 36" vertical by 30" horizontal.
  - The maximum pane size for office uses is 48" vertical by 40" horizontal.
  - Egress windows may be installed according to the appropriate building code.



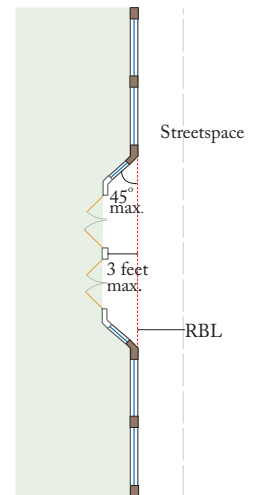
Conceptual rendering of retail storefronts in the Station Area, Farmers Branch Station Area Conceptual Master Plan.



- The following apply to shopfront (GROUND FLOOR) windows and doors:
  - Single panes of glass not larger than 8 feet in height by 4 feet wide.
  - A minimum of 60 percent of the window pane surface area shall allow views into the GROUND FLOOR of the building for a depth of at least 15 feet.
  - Windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space)
  - Shopfronts may extend up to 24 inches beyond the FAÇADE/RBL into the STREET-SPACE.

#### Doors:

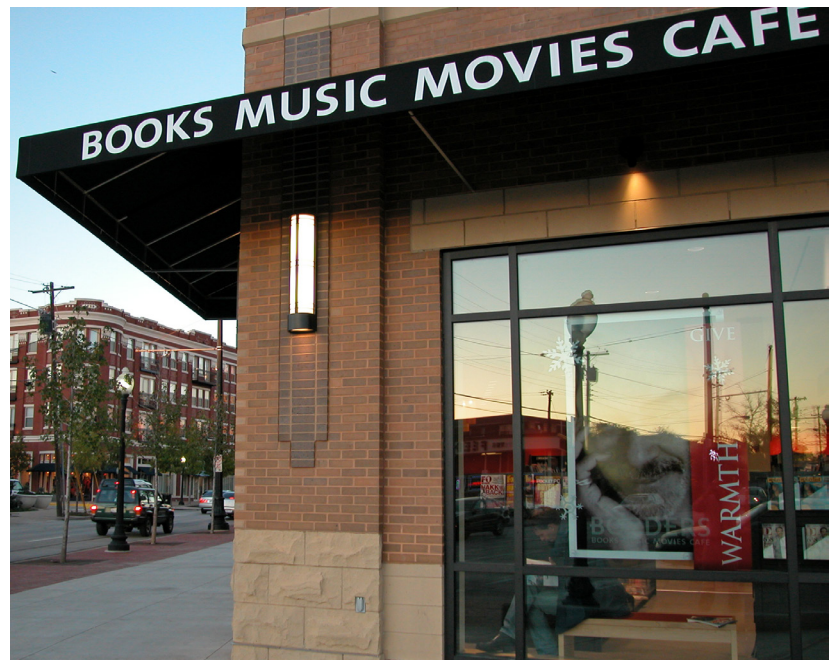
- Double-height entryways (those that span more than one STORY) are not allowed.
- Doors shall not be recessed more than 3 feet behind the shop-front windows and, in any case, shall have a clear view and path to a 45-degree angle past the perpendicular from each side of the door.



## F. Signage

### Intent and Guiding Illustrations for Signage

Signs along the Station Area commercial frontages should be clear, informative to the public and durable. Signage is desirable for advertising Station Area shops and offices, and as decoration. Signs should be scaled to the nature of the district: mixed-use, pedestrian-oriented, with slow-moving automobile traffic. Signage that is glaring or too large creates distraction, intrudes into and lessens the Station Area experience, and creates visual clutter. The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Standards for Signage

(WHERE CLEARLY VISIBLE FROM THE STREET-SPACE)

### General:

- Wall signs are permitted within the area between the second story floor line and the first floor ceiling, within a horizontal band not to exceed 2 feet in height. In no case shall this band be higher than 18 feet or lower than 12 feet above the adjacent sidewalk.
- Letters shall not exceed 18 inches in height or width and 3 inches in relief. Signs shall not come closer than 2 feet to an adjacent COMMON LOT LINE.
- Additionally, company logos or names may be placed within this horizontal band or placed or painted within ground floor or second story office windows. Company logos or names shall not be larger than a rectangle of 8 square feet.
- A masonry or bronze plaque bearing an owner's or building's name may be placed in the building's cornice/PARAPET wall or under the EAVES, and above the upper story windows. Any such plaque shall be no larger than a rectangle of 18 square feet.
- Blade signs (perpendicular to the RBL) not more than 18 inches vertical by 3 feet horizontal and minimum 9 feet clear height above the sidewalk may be hung below the second story level, from FAÇADE, or from an overhang or awning.
- Identification signs which, by means of symbol or name, identifies a shopping center, commercial development, or other development that may contain a mixture of residential and/or non-residential uses but does not identify individual tenants, are permitted. Identification signs shall be free standing monument signs with a maximum area of 60 square feet and a maximum height of 8 feet. Landscaping shall be provided around the sign base. A maximum of one identification sign may be located at each main point of entry into the development.
- One mural may be installed, per building, and shall cover only one façade of that building. Murals shall not include the name of any product, company, logos or names of any business entity nor illustrate any activities, merchandise or services of the business occupying the building on which the mural is applied. A mural may wrap around the corner and continue to an adjacent façade of the same building, subject to approval of a special exception as provided for in this ordinance.
- Prohibited Signs: Billboards, free-standing pole signs, monument signs, (except in I-35E area or when used as an identification sign) marquees, any kind of animation, roof and painted window signs, and signs painted on the exterior walls of buildings are prohibited (except murals). No flashing, traveling, animated, or intermittent lighting shall be on the exterior of any building whether such lighting is of temporary or long-term duration. Portable or wheeled signs and advertising devices located outside any building are not allowed, pursuant to City regulations.
- I-35E frontage buildings, as designated on the REGULATING PLAN, are allowed one monument sign per lot (maximum 100 square feet, 10 feet in height). See page 42 for the I-35E Special Exceptions.







**AWNINGS/Overhangs:**

When an AWNING or overhang is incorporated into a building, the following requirements must be met:

- Minimum 10 feet clear height above sidewalk, minimum 6 feet depth extending out from the building Façade (maximum to curb or tree-planting strip, whichever is closer).
- Canvas cloth or equivalent (no shiny or reflective materials), metal or glass.
- No internal illumination through the Awning/overhang.
- Lettering on Awnings limited to 6 inches tall on vertically hanging fabric at curb side of awning.
- No one-quarter cylinder configurations.



## G. Lighting and Mechanical Equipment

### Intent and Guiding Illustrations for Lighting and Mechanical Equipment

Materials and equipment chosen for lighting fixtures should be durable and weather resistant. Appropriate lighting is desirable for nighttime visibility, crime deterrence, and decoration. However, lighting that is too bright or intense creates glare, hinders night vision, and creates light pollution. The illustrations and statements on this page are advisory only. Refer to the *Code* standards on next page for the specific prescriptions of this section.





## Lighting and Mechanical Equipment Standards

(WHERE CLEARLY VISIBLE FROM THE STREET-SPACE)

### Lighting:

- **STREET LIGHTS:** The American Style Pole and Texas Style luminaire (or other STREET LIGHT as the City may specify) shall be used in the Station Area.
- **STREET LIGHTS** shall be located between nine (9) feet and sixteen (16) feet above grade with a maximum average spacing (per BLOCK face) of 60 feet on center on SHOPFRONT COLONNADE frontages (75' on GENERAL and LOCAL frontages) placed on the STREET TREE ALIGNMENT LINE on each side of the STREET-SPACE and travel lanes (unless otherwise indicated in this code). Type B streets are exempt of these spacing requirements. City Engineer to approve on a "case by case" basis.
- At the front of the building, exterior lights shall be mounted between 6 feet and 14 feet above adjacent grade.
- All lots with ALLEYS shall have lighting fixtures within 5 feet of the ALLEY right of way. This fixture shall illuminate the ALLEY, shall be between 13 and 16 feet in height, and shall not cause glare in adjacent lots.
- Lighting elements shall be specified to prohibit those that cast a clearly/perceptively unnatural spectrum of light (such as low pressure sodium). Incandescent, metal halide, or halogen are preferred. No heavy intensity discharge (HID) or fluorescent lights (excepting compact fluorescent bulbs that screw into standard sockets) may be used on the exterior of buildings. These standards shall be adjusted by the City as technologies advance and produce additional acceptable elements.
- Floodlights or directional lights (maximum 75-watt bulbs) may be used to illuminate ALLEYS, parking garages and maintenance areas, but must be shielded or aimed in such a way that they do not shine into other lots, the STREET-SPACE, or direct light up and/or out of the Station Area.
- Floodlighting shall not be used to illuminate building walls (i.e. no up-lighting).
- Site lighting shall be of a design and height so as to illuminate only the lot. An exterior lighting plan must be approved as consistent with these standards by the City Manager.
- No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration.
- Lighting for parking garages shall satisfy Crime Prevention Through Environmental Design (CPTED) standards.
- I-35E frontage buildings, as designated on the REGULATING PLAN, are exempt from some of the standards above (see Chapter 3, Building Envelope Standards for the I-35E Special Exceptions).

**Mechanical Equipment:**

- The following shall be placed behind and away from any RBL, not be stored or located within any TYPE A STREET FRONTAGE AREA, and be screened from view from the STREET-SPACE:
  - Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and similar equipment shall not be stored or located within any area considered Type A STREET-SPACE under this *Code*.
- Roof mounted equipment shall be placed behind and away from any RBL and be screened from view from the TYPE A STREET-SPACE.



## CHAPTER

# VII

## DEFINITIONS

The following terms are defined for the purpose of the *Station Area Form-Based Code*. Terms not defined herein may be defined elsewhere in the *Comprehensive Zoning Ordinance*. In such case, the definition contained in the *Comprehensive Zoning Ordinance* will be used. Certain terms in the *Form-Based Code* are used in very specific ways, often excluding some of the meanings of common usage. Wherever a word is printed in SMALL CAPITAL LETTERS, it is being used as defined herein.

#### ACCESSORY UNIT

A building (maximum floor area of 650 square feet) that is not the primary structure, located on a LOT that can be used as additional residential or home occupation space by the owner of the primary structure.

#### ALLEY/ALLEY ACCESS EASEMENT

The public right of way for vehicles and pedestrians within a BLOCK that provides access to the rear of buildings, vehicle parking (e.g., garages), utility meters, and recycling and garbage bins. The easement for public access as described above.

#### AWNING

A cantilevered, projected or suspended cover over the sidewalk portion of the STREET-SPACE. Also, roof-like coverings, usually of canvas or metal and often adjustable, placed over the sidewalk, windows, or doors to provide protection from sun and rain. Awnings shall have a minimum clear height of ten (10) feet.

#### BALCONY

An exterior platform attached to the building FACADE (forward of its REQUIRED BUILDING LINE). BALCONIES (where required in the BUILDING ENVELOPE STANDARD) must be roofed and enclosed by balustrades (railings) and posts that extend up to the roof. BALCONIES aligned vertically on adjacent floors may post up to one another and share a single roof element. BALCONIES shall project no less than five (5) feet from the FACADE and shall have no less than seven (7) feet in width. BALCONIES may not project within five (5) feet of a COMMON LOT LINE.

#### BAY OR BAY WINDOW

Generally, a U-shaped enclosure, extending the interior space of the building outward of the exterior building wall/ RBL (along its STREET-SPACE side). Minimum interior clear width at main wall shall be four (4) feet; projection not greater than thirty-six (36) inches beyond the RBL; walls and windows shall be between ninety (90) degrees (perpendicular) and zero (0) degrees (parallel) relative to the primary wall from which they project.

#### BLOCK

An increment of land comprised of LOTS, ALLEYS, and tracts circumscribed and not traversed by STREETS (PEDESTRIAN PATHWAYS excepted). BLOCKS shall be measured at the frontage lot lines.

#### BLOCK CORNER



The outside corner of a BLOCK at the intersection of any two STREETS. Some of the requirements of the BUILDING ENVELOPE STANDARDS are specific to BLOCK CORNERS. Inside corners, where the resulting angle formed by the BLOCK face is less than 180 degrees (concave), are not considered BLOCK CORNERS for the purposes of this *Code*.

#### BUILDABLE AREA

The area of the LOT that building(s) may occupy, which includes the entire area of the LOT behind the RBL, exclusive of any setbacks. The BUILDABLE AREA sets the limits of the building footprint now and in the future—additions to structures must be within the designated area.

#### BUILDING CORNER

The outside corner of a building where the primary building mass is within an angle less than 180 degrees. Some of the proscriptions of the BUILDING ENVELOPE STANDARDS are specific to BUILDING CORNERS. Inside corners, where the exterior space of the building mass forms an angle of more than 180 degrees, are not considered BUILDING CORNERS for the purposes of this *Code*.

#### BUILDING ENVELOPE STANDARDS (BES)

The part of the *Code* that establishes basic parameters regulating building form, including the envelope, placement (in three dimensions) and certain permitted/required building elements, such as storefronts, BALCONIES, and STREET WALLS. The BUILDING ENVELOPE STANDARDS establish both the boundaries within which things may be done and specific things that must be done. The applicable BES for a site is determined by its STREET FRONTAGE as per the REGULATING PLAN.

#### CIVIC BUILDINGS

Buildings that house CIVIC USES located on the sites designated on the REGULATING PLAN. CIVIC BUILDINGS and PUBLIC ART are not subject to the BUILDING ENVELOPE STANDARD prescriptions of this *Code*.

#### CIVIC GREEN OR SQUARE

Public spaces located within the Station Area as designated on the REGULATING PLAN. The term SQUARE is generally used to describe spaces that have more paved surface area. The term CIVIC GREEN is generally used to describe a formally configured, small public lawn or park that is primarily unpaved. Both shall have at least sixty percent (60 %) of their perimeter fronting rights-of-way and both spaces should be surrounded by STREET TREES. Their dimensions shall be no narrower than a 1:5 ratio and no SQUARE or CIVIC GREEN width or breadth dimension shall be less than twenty-five (25) feet. Situated at prominent locations within the Station Area and often dedicated to important events or citizens, CIVIC GREENS and SQUARES shall not include active recreation structures such as ball fields and courts. See the Streetscape Standards for the specific controls on SQUARES and CIVIC GREENS.

#### COLONNADE (also known as Arcade)

A roofed or built structure, extending beyond the GFRBL and over the sidewalk or SQUARE, open to the STREET-SPACE except for supporting columns, piers, or arches. Residential or office units may occupy the space over the COLONNADE. COLONNADES shall have a minimum clear height of fifteen (15) feet (signage or lighting may encroach) and a minimum clear width (from façade frontage or GROUND FLOOR REQUIRED BUILDING LINE) to inside column face of thirteen (13) feet. Supporting columns/piers shall be located no more than five (5) feet from the back of the curb (minimum six (6) foot continuous public access easement within the COLONNADES' clear width in conformance with federal and state accessibility requirements). Where a COLONNADE is built the requirement for STREET TREES is waived for that STREET FRONTAGE (see BES for complete specifications).

#### COMMERCE (see USE)

Any use that is defined herein as a BUSINESS SERVICE, PERSONAL SERVICE, PROFESSIONAL OFFICE, RETAIL SERVICE, RETAIL SPECIALTY, RETAIL TRADE or STUDIO use and specifically excluding any type of sexually oriented business.

#### COVERED SIDEWALK

A roofed or built structure attached to the FAÇADE and extending beyond the RBL and over the sidewalk or SQUARE, open to the STREET-SPACE except for supporting columns, piers, or arches. COVERED SIDEWALKS shall have a minimum clear height of thirteen (13) feet (signage or lighting may encroach) and a minimum clear width (from FAÇADE frontage or REQUIRED BUILDING LINE) to inside column face of ten (10) feet. The area within a COVERED SIDEWALK shall be open to all public access. Supporting columns/piers shall be located no more than five (5) feet from the back of the curb (minimum six (6) foot continuous public access easement within the COVERED SIDEWALKS' clear width in conformance with federal and state accessibility requirements; see BES for complete specifications).

#### COMMON LOT LINES

Lot lines shared by adjacent private lots.

#### DOORYARD

The area, within the STREET-SPACE, between the FAÇADE of the building (generally the RBL) and the property line. STOOPS, balconies, and for appropriate COMMERCE uses, temporary displays, café seating and other encroachments as specified by the City may be placed within the DOORYARD area.

#### DORMERS

Small, roofed ancillary structures with windows providing light and air to habitable space within the roof. DORMERS are permitted and do not constitute a STORY so long as they do not break the primary EAVE line, are individually less than fifteen (15) feet wide, and are collectively not more than sixty percent (60%) of the REQUIRED BUILDING LINE FAÇADE length.



#### EAVE HEIGHT

Where used to limit building height in the Code, the distance measured from the bottom of the top layer of roofing material at its outermost point from the building wall to the ground.

#### FAÇADE

Building face; the building elevation facing the STREET-SPACE. Building walls facing interior courts, COMMON LOT LINES, and ALLEYS are not FACADES.

#### FENESTRATION

Openings in the building wall allowing light and views between interior and exterior. FENESTRATION is measured as glass area (excluding muntins and similar window frame elements with a dimension greater than one (1) inch) for conditioned space and as open area for parking structures or other un-conditioned, enclosed space.

#### FIRST FLOOR

See GROUND STORY.

#### FRONT PORCH

The ground floor platform attached to the front or RBL side of the main building. Required FRONT PORCHES, where specified in the BUILDING ENVELOPE STANDARDS, must be roofed and enclosed by balustrades (railings) and posts that extend up to the roof and shall not be otherwise enclosed, above a height of 42 inches, except with insect screening.

#### GARAGE ENTRY

An opening (with curb cut) in the building FAÇADE and/or STREET WALL where vehicles may enter into the BLOCK interior for general parking and business servicing. GARAGE ENTRIES shall not exceed twenty (20) feet clear height and thirty (30) feet clear width and shall not be sited within seventy-five (75) feet of the BLOCK CORNER or another GARAGE ENTRY on the same BLOCK. GARAGE ENTRY portals may be set back up to twenty-four (24) inches behind the surrounding FAÇADE. TYPE B STREET FRONTAGE IS EXEMPT FROM THIS REQUIREMENT.

#### GARDEN WALL

A masonry wall defining a property line or delineating a private area. Shall be set back (or forward) not more than eight (8) inches from the alignment specified in the REGULATING PLAN or BES. A vehicle entry gate (opaque and maximum twelve (12) feet wide) and a pedestrian entry gate (maximum six (6) feet wide) are both allowed within any required GARDEN WALL length.

#### GENERAL FRONTAGE BUILDING

Building types as defined in the BUILDING ENVELOPE STANDARDS for Station Area General Frontage Sites.

#### GROUND FLOOR REQUIRED BUILDING LINE (GFRBL)

See REQUIRED BUILDING LINE, GROUND FLOOR.

#### GROUND STORY

The first level of a building at or above grade. For COMMERCE buildings, at least eighty percent (80%) of the finished floor elevation shall be within eighteen (18) inches of the adjacent fronting sidewalk level. When a residential use occupies the GROUND STORY, the finished floor elevation shall be thirty (30) to sixty (60) inches above the fronting sidewalk elevation, unless otherwise specified in the BUILDING ENVELOPE STANDARDS OR REGULATING PLAN. The next STORY above the GROUND STORY is the second floor.

#### LOCAL FRONTAGE BUILDING

Buildings as defined in the BUILDING ENVELOPE STANDARD for Station Area local frontage sites.

#### MURAL

Any mosaic, painting, or graphic art or combination thereof which is professionally applied to a building that does not include the name of any product, company, logos or names of any business entity, nor illustrates any activities, merchandise or services of the business occupying the building of which the mural is applied.

#### OPEN AREA

The area within the BUILDABLE AREA and behind the PARKING SETBACK LINE, accessible to all occupants of the particular building or site, and open to the sky. OPEN AREA shall not be: built-upon, parked or driven upon (except for emergency access).

#### PARAPET HEIGHT

Where used to limit building height in the *Code*, PARAPET HEIGHT shall be measured at the top of the parapet, including any coping. An additional three (3) feet in height by twelve (12) feet in width (or fifteen percent (15%) of the façade, whichever is greater) is permitted for a section of the parapet emphasizing the building's primary STREET-SPACE entry or a BLOCK CORNER.

#### PARKING

RESERVED: Parking not available to the public, but only to specifically identified users (either a single user per space or a set of users for a group of spaces), whether for free or at a fee.

SHARED: Parking available to the public on an unreserved basis for free or at the same fee for all users. Time limits may be imposed to ensure turn-over. Hours of public availability may also be restricted.

#### PARKING SETBACK LINE

A line/plane indicated on the REGULATING PLAN which extends vertically and generally parallel to the RBL. All parking shall be set-back behind this line, excepting where it is below grade or is otherwise indicated on the REGULATING PLAN. The PARKING SETBACK LINE is a permissive minimum distance from the RBL and parking may be placed anywhere



within the lot behind this line, except where otherwise specified in this *Code*.

#### PEDESTRIAN PATHWAY

Interconnecting paved ways that provide pedestrian and bicycle passage through BLOCKS running from a STREET-SPACE to another STREET-SPACE, an ALLEY or an interior BLOCK parking area. The area within a PEDESTRIAN PATHWAY shall be a public access easement or public right of way. The easement width for these pathways shall not be less than twenty (20) feet with a paved walkway not less than ten (10) feet wide, except where otherwise specified on the REGULATING PLAN, and shall provide an unobstructed view straight through their entire length.

#### PRIVACY FENCE

An opaque fence made of wood or masonry (not chain link or any other type of rolled fence) along ALLEYS and COMMON LOT LINES (where more than ten (10) feet away from the REQUIRED BUILDING LINE). It may be as high as nine (9) feet above the adjacent ground.

#### PUBLIC ART

Art that is visually or physically accessible to the public (within the public realm e.g. a STREET) and that is acquired by City funds, donated to the City, or provided by a private entity as a community benefit, including monuments and statues, building ornament, and visible public infrastructure such as bridges, etc.

#### REGULATING PLAN

Part of the *Code* that is the coding key for the BUILDING ENVELOPE STANDARDS that provide specific information for the development of each building site. The REGULATING PLAN also shows how each site relates to adjacent STREET-SPACES, the overall Station Area, and the surrounding neighborhoods.

#### REQUIRED BUILDING LINE (RBL)

A line/plane indicated on the REGULATING PLAN, defining the STREET FRONTAGE which extends vertically and generally parallel to the street, at which the building FAÇADE shall be placed. The building shall be built-to the REQUIRED BUILDING LINE (RBL) as shown on the REGULATING PLAN. The RBL is a requirement, not a permissive minimum as is a set-back. The RBL for each site is shown on the Station Area REGULATING PLAN. The minimum length of building that is required to be built-to the RBL is shown on the appropriate BUILDING ENVELOPE STANDARD.

#### REQUIRED BUILDING LINE, GROUND FLOOR (GFRBL)

A line/plane indicated on the REGULATING PLAN, specific to the SHOPFRONT COLONNADE BES, defining the shopfront frontage line. The GFRBL extends vertically for the full clear height of the colonnade and generally parallel to the street, at which the shopfront FAÇADE shall be placed. The upper stories and the colonnade columns/piers shall be built-to the REQUIRED BUILDING LINE (RBL) as shown on the REGULATING PLAN. The GFRBL is a requirement, not a permissive

minimum as is a set-back. The GFRBL for each site is shown on the Station Area REGULATING PLAN. The minimum length of building that is required to be built-to the GFRBL is shown on the SHOPFRONT COLONNADE BUILDING ENVELOPE STANDARD.

#### RETAIL

See USE.

#### SHOPFRONT COLONNADE BUILDING

Buildings as defined in the BUILDING ENVELOPE STANDARD for SHOPFRONT COLONNADE frontage sites.

#### SIDEWING

The portion of a building extending along a side lot line toward the ALLEY or rear of the lot.

#### STOOP

An entry platform on the RBL side of a building. STOOPS may be roofed, but they shall not be enclosed.

#### STORY/STORY HEIGHT

That space within a building, and above grade, that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above. STORY HEIGHT parameters are as specified by the appropriate BUILDING ENVELOPE STANDARD.

#### STREET FRONTAGE

Type A Frontage: Type A frontages are frontages identified as such on the Regulating Plan and shall be the building frontages that have the highest pedestrian-supportive qualities and shall be held to the highest standards with respect to building frontage, required building line and architectural standards per this code.

Type B Frontage: Type B frontages are frontages identified as such on the Regulating Plan and may have building frontages that do not have the highest pedestrian-supportive qualities. Such frontages may accommodate access to parking, parking frontages, service areas and other auto-related functions.

#### STREET LIGHT

A luminaire installed on both sides of streets, along the STREET TREE ALIGNMENT LINE, unless otherwise designated on the REGULATING PLAN, at intervals of no more than sixty (60) feet measured parallel to the street. STREET LIGHTS shall be between nine (9) and sixteen (16) feet above ground in height. Lighting standards for STREET-SPACES and ALLEYS should be developed to meet the minimum standards of the Illumination Engineering Society (with the design criteria giving equal weight to the lighting of the pedestrian areas and the automobile areas).

#### STREET-SPACE

Includes all space between fronting RBLs (streets, SQUARES, PEDESTRIAN PATHWAYS, CIVIC GREENS, sidewalks, parks)—including any transit service operator passenger platform—but not GARAGE ENTRIES OR ALLEYS.

#### STREET TREE

A tree required per the REGULATING PLAN and listed in the Station Area STREET TREE List located in the *Code's* Streetscape Standards. STREET TREES shall be of a proven hardy and drought tolerant species, large enough to form a canopy with sufficient clear trunk to allow traffic to pass under unimpeded. STREET TREES shall be planted at an average no greater than



thirty (30) feet on center (measured per BLOCK face). Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants and other infrastructure elements, however, at no location shall spacing exceed forty-five (45) feet on center.

#### STREET TREE ALIGNMENT LINE

A line along which STREET TREES are to be planted and STREET LIGHTS and other such infrastructure are to be placed. The STREET TREE ALIGNMENT LINE is parallel with the street or SQUARE right of way and, unless otherwise specified in the REGULATING PLAN, is three (3) feet behind the back-of-curb. Existing trees are not required to be relocated by this requirement.

#### STREET WALL

A masonry wall set back not more than eight (8) inches from the RBL and built to the height specified in the BUILDING ENVELOPE STANDARDS. A vehicle entry gate (opaque, maximum eighteen (18) feet wide) and a pedestrian entry gate (maximum six (6) feet wide) are both allowed within any required STREET WALL length.

#### USE, BUSINESS SERVICE

Establishments primarily engaged in rendering services to business establishments on a fee or contract basis, including but not limited to advertising and mailing; building maintenance; employment service; management and consulting services; equipment rental and leasing (other than heavy construction equipment); commercial research; development and testing; photo finishing; and supplies services.

#### USE, CIVIC

Community uses including: meeting halls; libraries; schools; police and fire stations; post offices (retail operations only, no primary distribution facilities); places of worship; museums; cultural, visual and performing art centers; transit centers; government functions open to the public; and other similar uses.

#### USE, COMMERCIAL AMUSEMENT

Establishments that provide amusement, entertainment or games of skill for a fee or admission charge including, but not limited to, billiards, bowling, video or game arcades, movie theaters, and skating rinks.

#### USE, PERSONAL SERVICE

Establishments primarily engaged in providing services involving the care of a person or his or her apparel, including laundry, cleaning and garment services, garment pressing, coin operated laundries, beauty shops, barber shops, shoe repair, reducing salons and health clubs, clothing rental, etc.

#### USE, PROFESSIONAL OFFICE

Includes, but are not limited to lawyers, engineers, architects, landscape architects, accountants, economic consultants, doctors, dentists, chiropractors, veterinarians or other similar professions.

#### USE, RESIDENTIAL

Includes the following:

**MULTIPLE-FAMILY:** A residential structure providing complete, independent dwelling units for three (3) or more families or households living independently of each other and including permanent provisions for living, sleeping, cooking, eating, and sanitation in each unit. Condominiums are included in this definition.

**SINGLE-FAMILY DETACHED:** A structure designed for one dwelling unit, located on a single platted lot and having no physical connection to another structure on any other lot, and designed exclusively for the use and occupancy of one family.

**SINGLE-FAMILY ATTACHED:** See definition for **TOWNHOME**.

**TOWNHOME:** A single family dwelling unit constructed in a row (or group) of two or more attached units, each unit being on its own platted lot separated by property lines in which each unit extends from foundation to roof.

#### USE, RETAIL

Includes the following:

**RETAIL SERVICE:** Establishments providing services, as opposed to products, to the general public, including restaurants, hotels and motels, finance, real estate and insurance, travel agencies, health and educational services, and galleries.

**RETAIL SPECIALTY:** Include, but are not limited to the sale of gifts, antiques, flowers, books, jewelry, wearing apparel or craft shops making articles exclusively for sale at retail on the premises. Establishments selling used goods or merchandise and retail store sales consisting primarily of specialty and novelty items as defined by *Resolution Number 77-028* are specifically excluded.

**RETAIL TRADE:** Establishments engaged in selling new goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods. Establishments primarily engaged in the selling of used goods or merchandise are specifically excluded.

#### USE, STUDIO

Includes, but is not limited to dance, art, music, photography, radio or television and specifically excluding any type of sexually oriented business.

#### WHERE CLEARLY VISIBLE FROM THE STREET-SPACE

Many requirements of the *Code* apply only where the subject is “CLEARLY VISIBLE FROM THE STREET-SPACE.” Note that the definition of **STREET-SPACE** includes **SQUARES**, **CIVIC GREENS**, parks, and all public space except **ALLEYS**. A building element more than thirty (30) feet from the **RBL /STREET-SPACE** (such as elements facing a **COMMON LOT LINE** more than thirty (30) feet away from a **RBL** and/or street) is by definition not **CLEARLY VISIBLE FROM THE STREET-SPACE**. Also common and/or party walls are by definition not **CLEARLY VISIBLE FROM THE STREET-SPACE**. This does not exempt vehicle parking spaces/lots from any **BES** requirements.