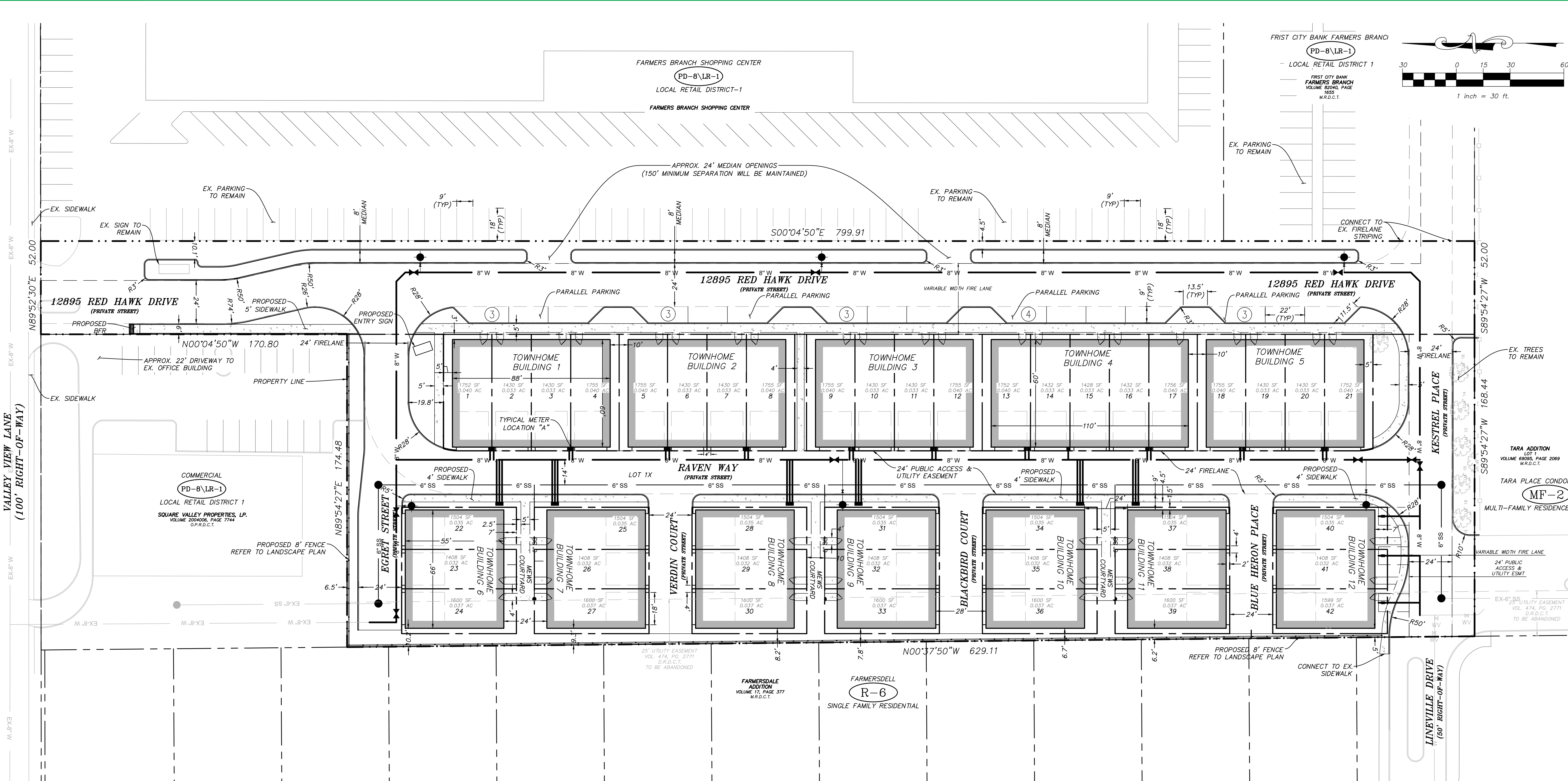


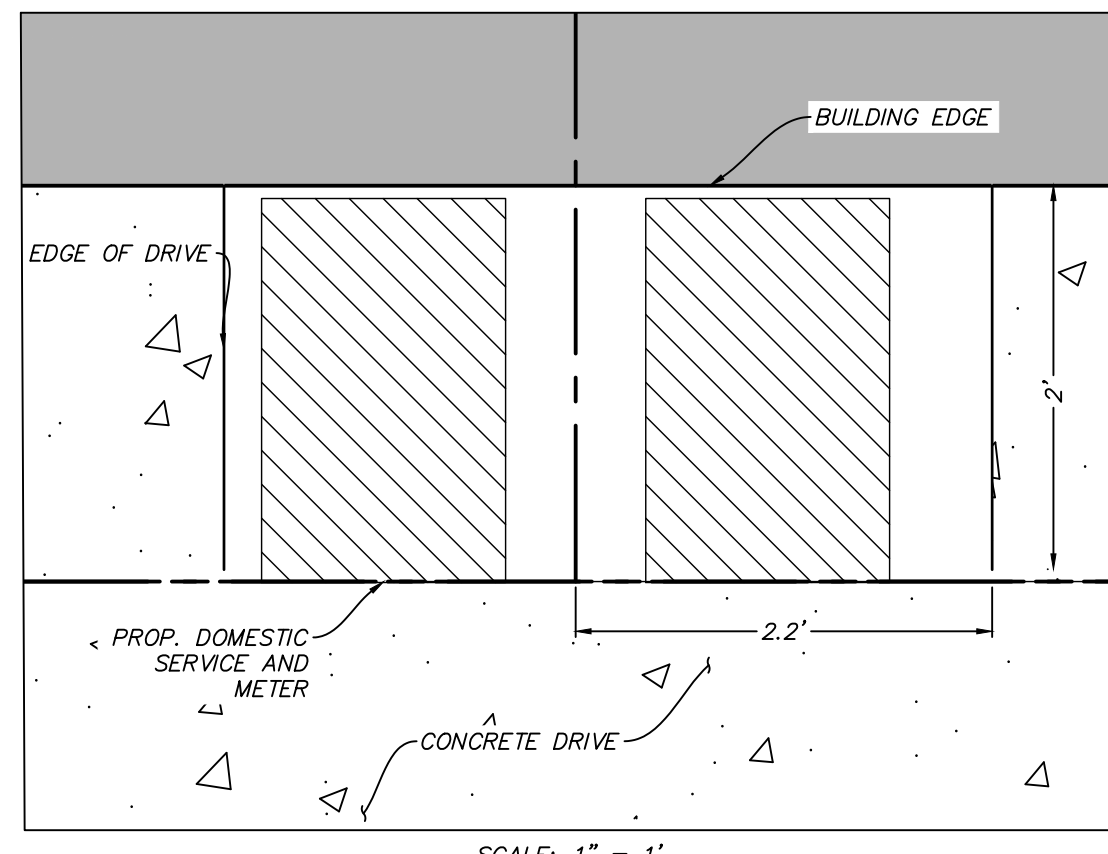
VICINITY MAP
NOT TO SCALE

LEGEND:

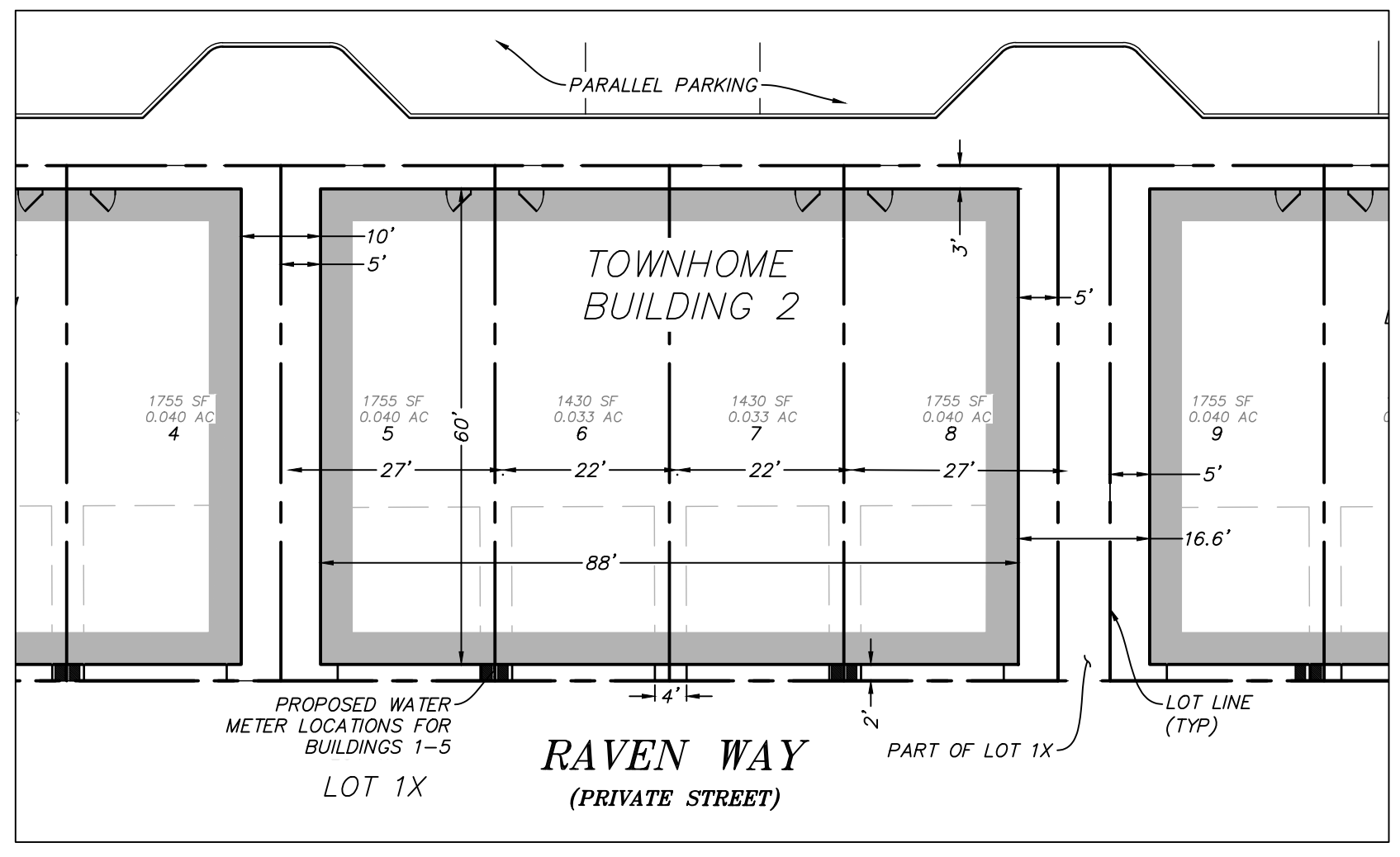
EXIST. LOT/BOUNDARY LINES	---
PROP. LOT LINES	---
PROP. ZONING BOUNDARY	- · - · -
PROP. EASEMENTS	---
FIRE LANE	---
PROPOSED GARAGE	□
EXIST. SANITARY SEWER	EX-SS
EXIST. SEWER MANHOLE	⊙
EXIST. WATER LINE	EX-W
EXIST. WATER VALVE	⊗
EXIST. FIRE HYDRANT	⊙
PARKING COUNT	⊙
PROPOSED WATER LINE	W
PROPOSED GATE VALVE	⊗
PROP. FIRE HYDRANT ASSEMBLY	⊙
PROPOSED SANITARY SEWER LINE	SS
ZONING	EX USE (A-5) CLASSIFICATION



TYPICAL METER DETAIL A (BUILDINGS 1-5)



TYPICAL BUILDING DETAIL



NOTES:

- EXISTING EASEMENTS SHOWN TO BE IN CONFLICT WITH PROPOSED BUILDINGS AND SITE IMPROVEMENTS SHALL BE ABANDONED AND/OR REPLATTED AT TIME OF, AND IN CONJUNCTION WITH, SITE PLAN AND ENGINEERING PLAN PREPARATION.

SITE DATA TABLE	
CURRENT ZONING	PD-8\LR-1
PROPOSED ZONING	PD FOR TOWNHOMES
ZONING SITE AREA	149,454 SF/3.431 AC
PROPERTY SITE AREA (MINUS RED HAWK DRIVE & STREETScape)	107,862 SF/2.476 AC
PROPERTY IMPERVIOUS AREA	88,236 SF
PROPERTY OPEN SPACE	19,626 SF
PROPERTY PERCENT IMPERVIOUS AREA	81.80%
BUILDING GROSS SQUARE FOOTAGE	53,130 SF
TOTAL BUILDING COVERAGE (%)	35.55%
STORIES	2
BUILDING HEIGHT	MAX 35'
MINIMUM UNIT SIZE (EXCLUDING GARAGE)	1,500 SF
TOWNHOMES	42
DENSITY	12.23 DU/AC
PARKING DATA	
TOWNHOMES (2 SPACES PER UNIT)	84
GUEST PARKING	16
TOTAL PARKING	100
SETBACKS	
FRONT SETBACK	REFERENCE PD-105
SIDE SETBACK	REFERENCE PD-105
REAR SETBACK	REFERENCE PD-105

UTILITY NOTES:

- SANITARY SEWER SERVICE LINE CLEANOUTS ARE TO BE PROVIDED AT EACH BUILDING CONNECTION POINT.
- DOMESTIC WATER LINE SIZES AND FIRE SPRINKLER SUPPRESSION SYSTEMS ARE TO BE SIZED AND PERMITTED AT TIME IF FINAL CONSTRUCTION DOCUMENT AND PLUMBING DESIGN.

DATE	ACTION

PLANNING & ZONING COMMISSION DATE:
CITY COUNCIL DATE:
ORDINANCE NO.:
RESOLUTION NO.:
ADMINISTRATIVE APPROVAL DATE:

CONCEPTUAL SITE PLAN
FARMERS BRANCH
3.431 ACRES
SOUTHWEST CORNER OF JOSEY LANE AND VALLEY VIEW LANE
FARMERS BRANCH, DALLAS COUNTY, TEXAS
SUBMITTED: 05.25.2021

DEVELOPER:
ECM DEVELOPMENT
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ARLINGTON, TEXAS 76006
EMAIL: abeiller@ecmdev.com
CONTACT: ALEX BEITLER

OWNER:
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SEPTEMBER 2021

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