

PHASE ONE PARKING CALCULATIONS	
BUILDING SQUARE FOOTAGE (RETAIL)	19,725 SF
REQUIRED (1:250 SF)	79
PROVIDED	89
STANDARD SPACES	85
HANDICAP SPACES	4

PHASE ONE BUILDING CALCULATIONS	
EXISTING USE—RETAIL and as Permitted by PD-77	19,725 SF
NUMBER OF STORIES	1
HEIGHT OF BUILDING	29'-6"
FINISH FLOOR ELEVATIONS	441.00'
FOUNDATION TYPE	PIER & BEAM

PHASE ONE SITE COVERAGE CALCULATIONS	
TOTAL AREA OF SITE (1.926 ACRES)	83,913.98 SF
TOTAL IMPERVIOUS COVER	68,071 SF
TOTAL FLOOR AREA	19,725 SF
TOTAL FLOOR AREA RATIO	23.5%
PERCENT BUILDING COVERAGE	23.5%

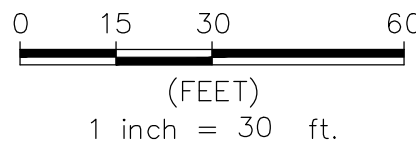
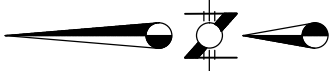
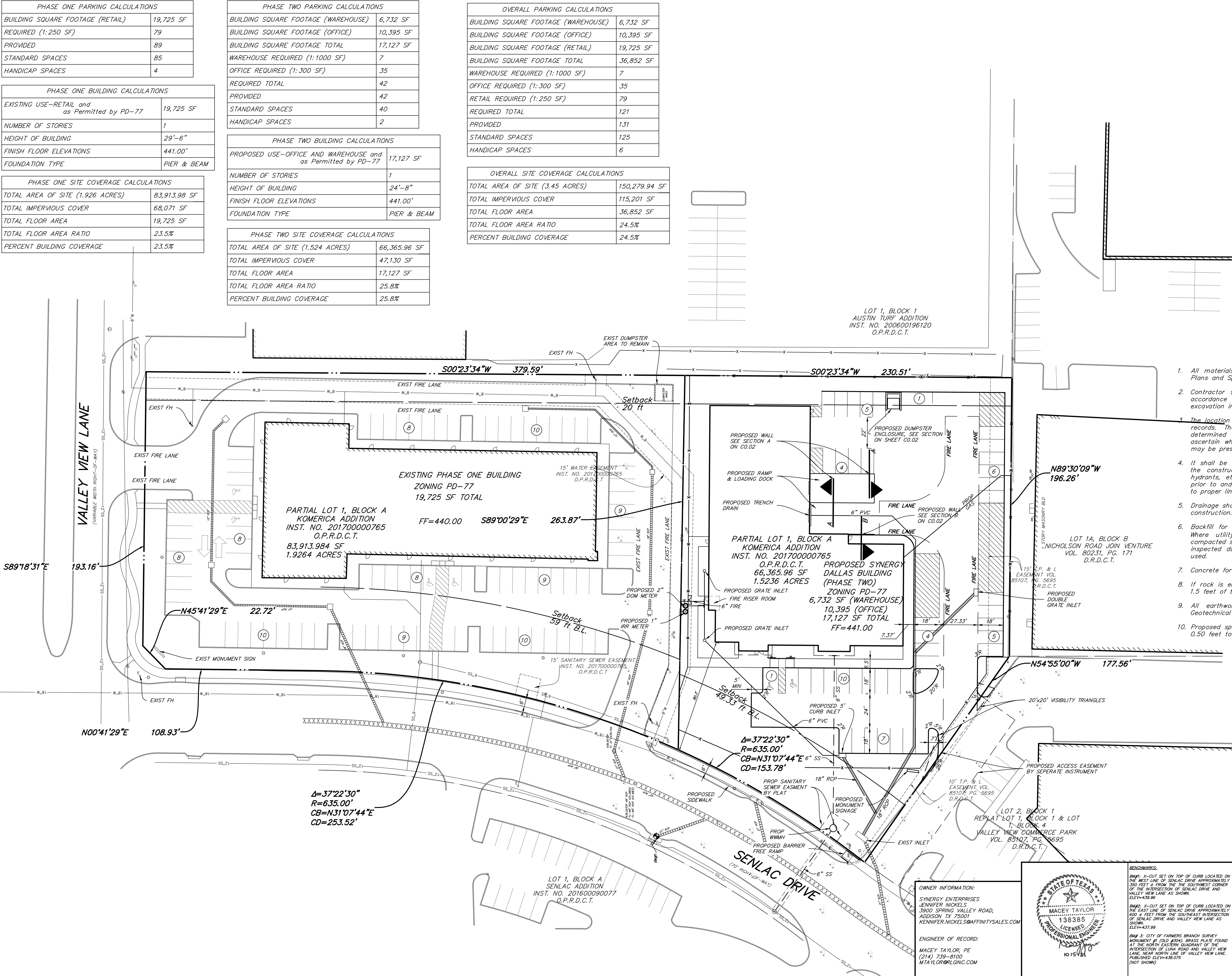
PHASE TWO PARKING CALCULATIONS	
BUILDING SQUARE FOOTAGE (WAREHOUSE)	6,732 SF
BUILDING SQUARE FOOTAGE (OFFICE)	10,395 SF
BUILDING SQUARE FOOTAGE TOTAL	17,127 SF
WAREHOUSE REQUIRED (1:1000 SF)	7
OFFICE REQUIRED (1:300 SF)	35
REQUIRED TOTAL	42
PROVIDED	42
STANDARD SPACES	40
HANDICAP SPACES	2

PHASE TWO BUILDING CALCULATIONS	
PROPOSED USE—OFFICE AND WAREHOUSE and as Permitted by PD-77	17,127 SF
NUMBER OF STORIES	1
HEIGHT OF BUILDING	24'-8"
FINISH FLOOR ELEVATIONS	441.00'
FOUNDATION TYPE	PIER & BEAM

PHASE TWO SITE COVERAGE CALCULATIONS	
TOTAL AREA OF SITE (1.524 ACRES)	66,365.96 SF
TOTAL IMPERVIOUS COVER	47,130 SF
TOTAL FLOOR AREA	17,127 SF
TOTAL FLOOR AREA RATIO	25.8%
PERCENT BUILDING COVERAGE	25.8%

OVERALL PARKING CALCULATIONS	
BUILDING SQUARE FOOTAGE (WAREHOUSE)	6,732 SF
BUILDING SQUARE FOOTAGE (OFFICE)	10,395 SF
BUILDING SQUARE FOOTAGE (RETAIL)	19,725 SF
BUILDING SQUARE FOOTAGE TOTAL	36,852 SF
WAREHOUSE REQUIRED (1:1000 SF)	7
OFFICE REQUIRED (1:300 SF)	35
RETAIL REQUIRED (1:250 SF)	79
REQUIRED TOTAL	121
PROVIDED	131
STANDARD SPACES	125
HANDICAP SPACES	6

OVERALL SITE COVERAGE CALCULATIONS	
TOTAL AREA OF SITE (3.45 ACRES)	150,279.94 SF
TOTAL IMPERVIOUS COVER	115,201 SF
TOTAL FLOOR AREA	36,852 SF
TOTAL FLOOR AREA RATIO	24.5%
PERCENT BUILDING COVERAGE	24.5%



LEGEND

- PROPOSED CURB
- LIMITS OF PAVEMENT SAWCUT
- PROPOSED FIRE LANE

GENERAL NOTES

- All materials and construction shall conform to the City of Farmers Branch Plans and Specifications, except as noted herein and approved by the City.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Drainage should be maintained away from the foundations, both during and after construction.
- Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines pass through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- Concrete for inlets and drainage structures shall be 3,500 psi at 28 days.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench.
- All earthwork operations shall conform to the recommendations per the Geotechnical Report.
- Proposed spot elevations located at the curb are finished gutter elevations. Add 0.50 feet to elevation for proposed top of curb.

NOTE:
NO OUTSIDE STORAGE
(INCLUDING VEHICLES) IS
ALLOWED ON THE SITE.

RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
5601 BRIDGE STREET #420 FORT WORTH, TX 76112
WWW.RLGINC.COM TBPE FIRM REG. F-493

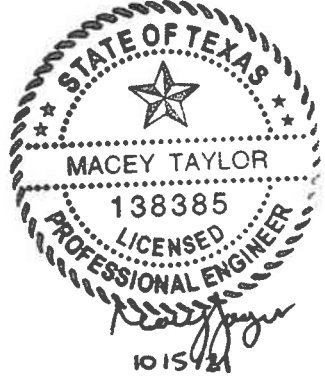
OVERALL SITE PLAN
SYNERGY DALLAS
LOT 1, BLOCK A
KOMERICA ADDITION

CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

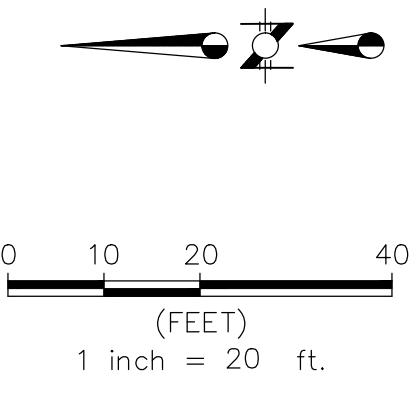
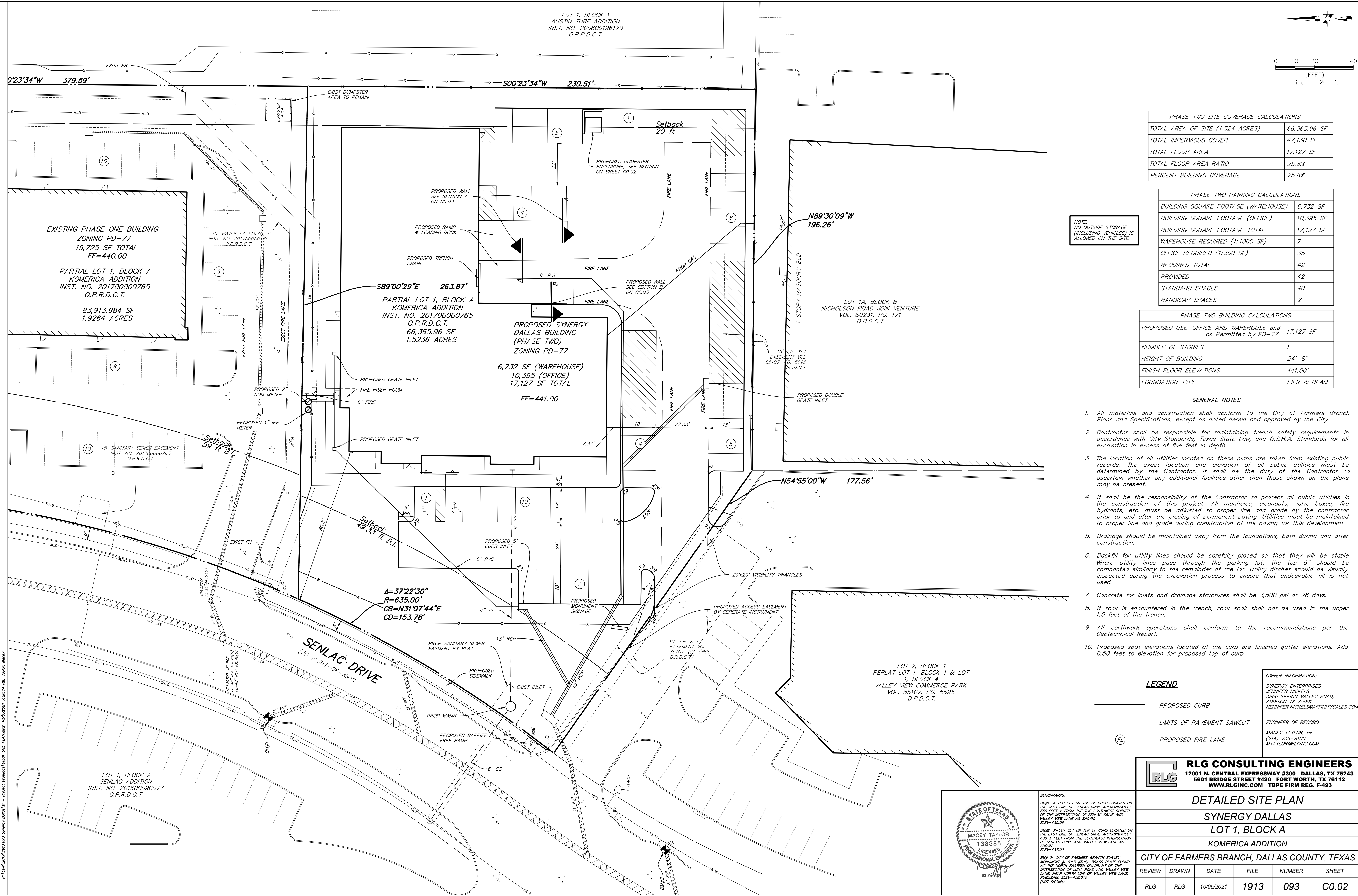
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	10/05/2021	1913	093	C0.01

OWNER INFORMATION:
SYNERGY ENTERPRISES
JENNIFER NICKELS
3900 SPRING VALLEY ROAD,
ADDISON TX 75001
KENNIFER.NICKELS@FINITYSALES.COM

ENGINEER OF RECORD:
MACEY TAYLOR, PE
(214) 739-8100
MTAYLOR@RLGINC.COM



BENCHMARKS:
BM#1: X-CUT SET ON TOP OF CURB LOCATED ON THE WEST LINE OF SENAC DRIVE APPROXIMATELY 350 FEET S FROM THE SOUTHWEST CORNER OF THE INTERSECTION OF SENAC DRIVE AND VALLEY VIEW LANE AS SHOWN. ELEV=439.96
BM#2: X-CUT SET ON TOP OF CURB LOCATED ON THE EAST LINE OF SENAC DRIVE APPROXIMATELY 600 S FEET FROM THE SOUTHWEST CORNER OF THE INTERSECTION OF SENAC DRIVE AND VALLEY VIEW LANE AS SHOWN. ELEV=437.89
BM#3: CITY OF FARMERS BRANCH SURVEY MONUMENT #1 (OLD #394), BRASS PLATE FOUND AT THE NORTH EASTERN QUADRANT OF THE INTERSECTION OF SENAC DRIVE AND VALLEY VIEW LANE. NEAR NORTH LINE OF VALLEY VIEW LANE. PUBLISHED ELEV=438.075 (NOT SHOWN)



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GENERAL NOTES

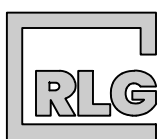
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DETAILED SITE PLAN

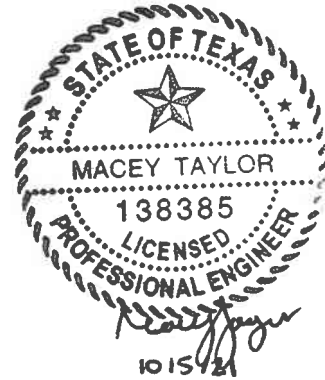
SYNERGY DALLAS

LOT 1, BLOCK A

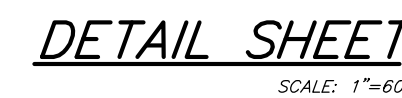
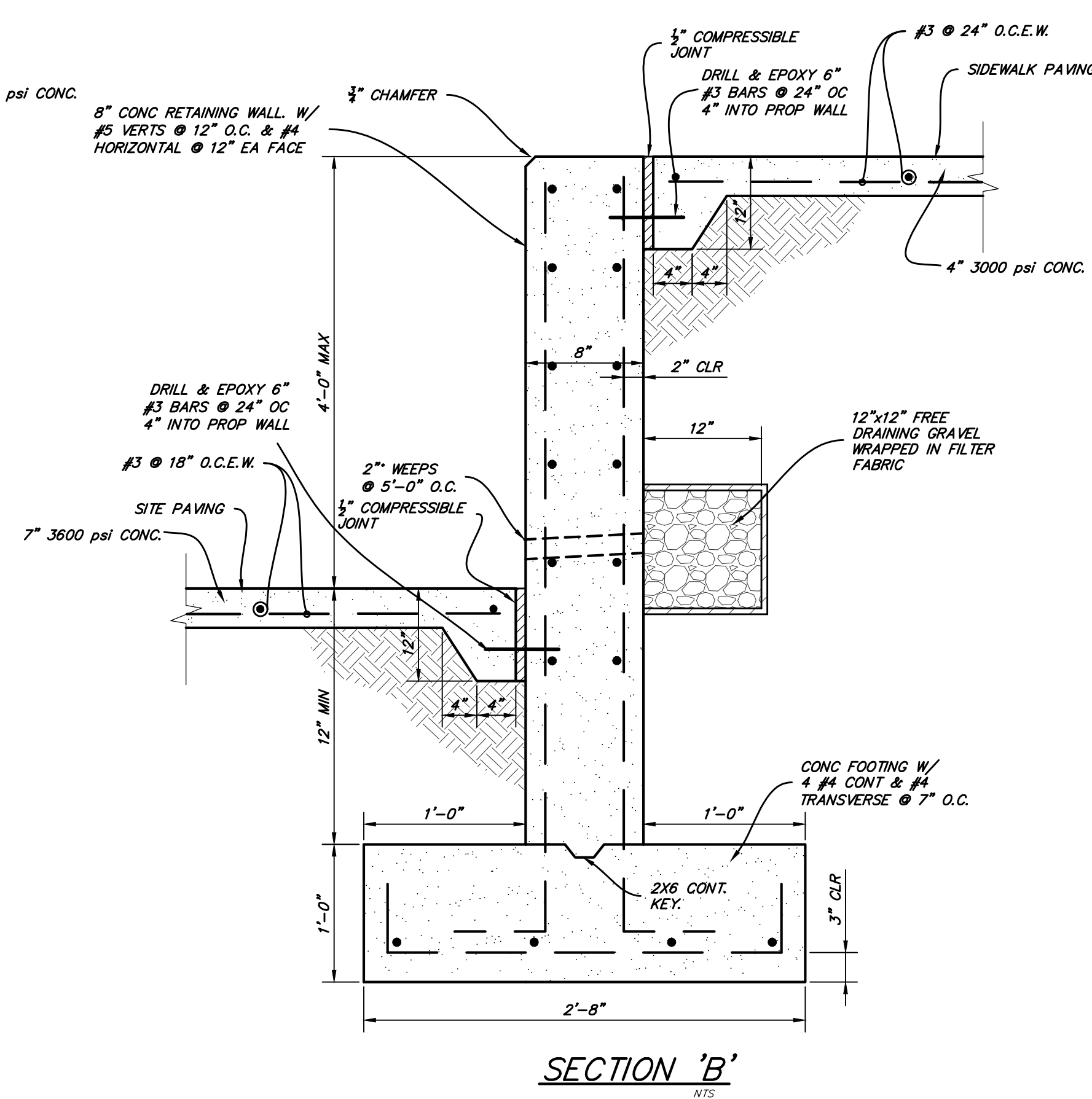
KOMERICA ADDITION

CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	10/05/2021	1913	093	C0.02



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BM#3: CITY OF FARMERS BRANCH SURVEY MONUMENT #1 (OLD #394), BRASS PLATE FOUND AT THE NORTH EASTERN QUADRANT OF THE INTERSECTION OF LUNA ROAD AND VALLEY VIEW LANE, NEAR NORTH LINE OF VALLEY VIEW LANE. PUBLISHED ELEV=438.075 (NOT SHOWN)



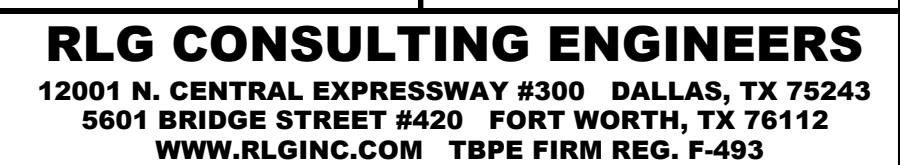
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CITY OF FARMERS BRANCH, DALLAS COUNTY, TEXAS

BM# 3: CITY OF FARMERS BRANCH SURVEY
MONUMENT #1 (OLD #304). BRASS PLATE FOUND
AT THE NORTH EASTERN QUADRANT OF THE
INTERSECTION OF LUNA ROAD AND VALLEY VIEW
LANE, NEAR NORTH LINE OF VALLEY VIEW LANE.
PUBLISHED ELEV=438.075
(NOT SHOWN)